



CITY OF CLEVELAND
Mayor Justin M. Bibb

2025 City of Cleveland

Landmarks Commission

April 10th, 2025

Julie Trott, Commission Chair
Daniel Musson, Secretary





CITY OF CLEVELAND
Mayor Justin M. Bibb

Certificates of Appropriateness

April 10th, 2025



Case 25-017

Certificate of Appropriateness

Lorain Avenue Historic District

5222 Lorain Avenue

Mural

Project Representatives: Ariel Vergez, Black Brain Group; Luis Rivas, Metro West Community Development Organization
Ward 15: Councilmember Spencer



Support from:



THE ART GARDEN

art trail beauty to uplift the
human spirit

GROUP

BBRAIN

Art Garden: Cultivating Sustainable Art for Cleveland

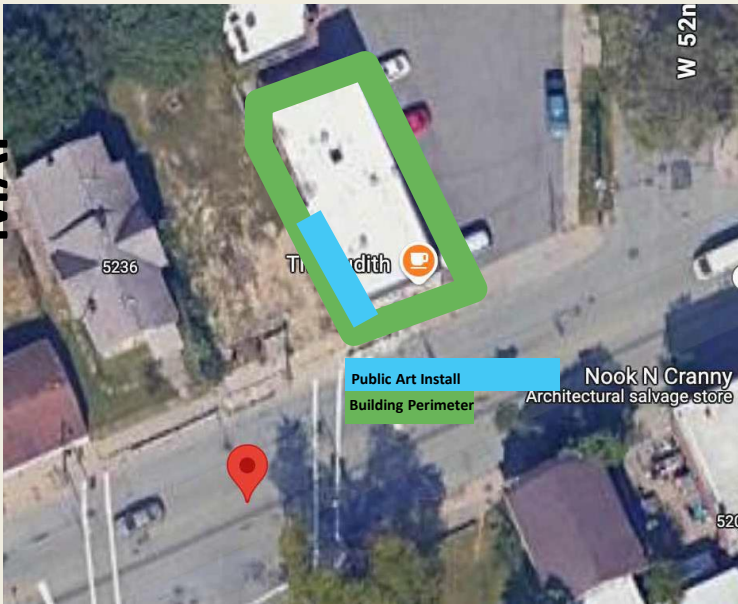
BlackBrain Group's *Art Garden* is a transformative public art initiative supported by Mayor Bibb's Transformative Arts Fund (TAF) in partnership with Metrowest CDC. This project aims to extend its impact through murals across the city. Focused on growth, real-world experience, and community, The Art Garden seeks to beautify the neighborhood and create economic interest in the process.

The murals serve as visual narratives, blending ancient and modern symbols (Cleveland's industrial scene, migration stories, and more) to reflect the city's diverse culture, history, and social evolution.

By investing in these murals, Cleveland fosters beautification of neighborhoods through art and enhances neighborhood identity.

Support from:





Lorain Avenue Neighborhood Overview

The Lorain Avenue corridor is a vibrant yet gritty stretch with a mix of historic storefronts, residential buildings, and industrial remnants. The architecture is marked by early 20th-century brick facades, some adorned with fading signs of bygone businesses, juxtaposed with modern renovations and eclectic retail shops. While portions of the avenue showcase signs of revitalization, much of it retains a raw, urban character.

Graffiti is a defining feature of Lorain Avenue, with its walls serving as a canvas for both street art and tagging. Vintage murals and layers of graffiti tell a story of artistic expression amidst urban decay. These works coexist with more hastily scrawled tags, reflecting the area's role as a

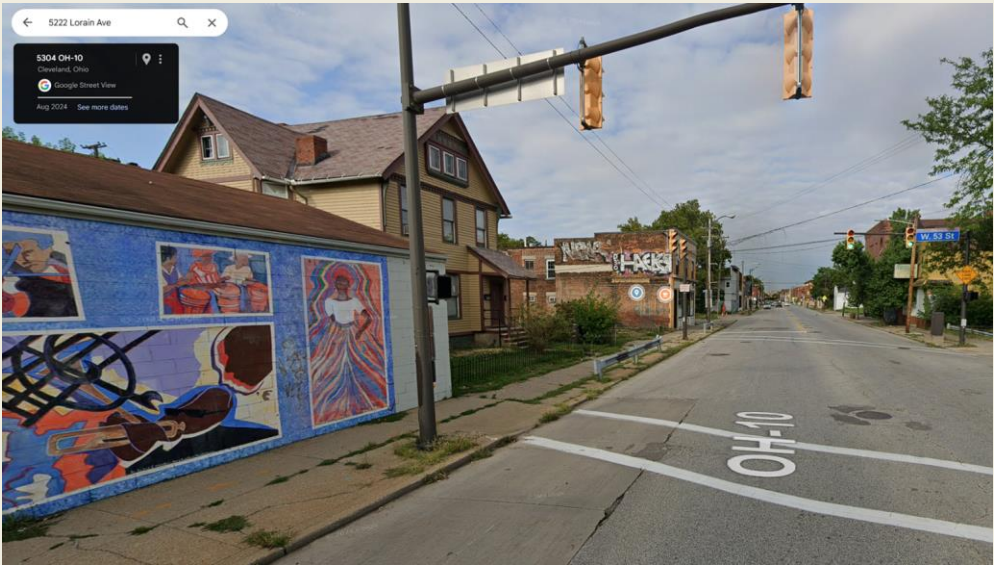
hub for underground creativity. The street art creates a dynamic visual narrative, adding color and energy to an otherwise subdued cityscape.

At key intersections, utility poles and bus stops mark hubs of pedestrian activity, though foot traffic is uneven, with some blocks bustling and others eerily quiet. The prevalence of graffiti, especially in alleyways and on vacant buildings, underscores the area's ongoing struggle with neglect and its potential for transformation through artistic initiatives.

Lorain Avenue stands as a reflection of Cleveland's cultural dichotomy—its challenges interwoven with a resilient community spirit and a profound opportunity for creative and economic rejuvenation.



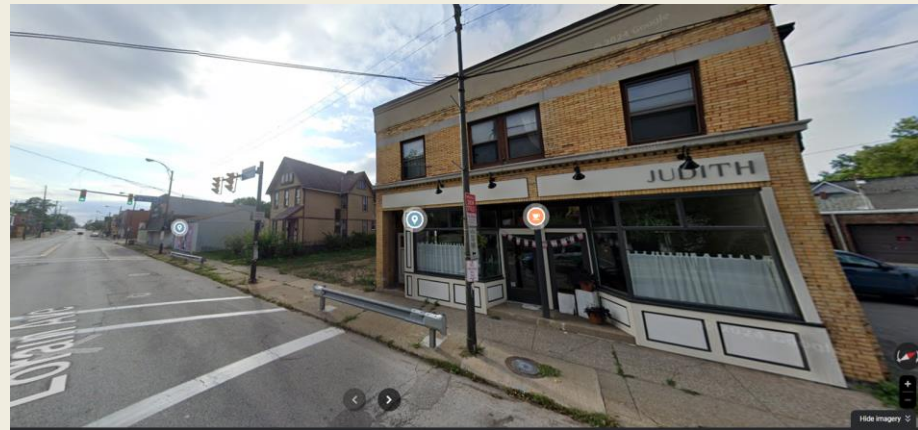
Address:
5222 Lorain Ave, Cleveland, OH 44102



Address:
5222 Lorain Ave, Cleveland, OH 44102



Address:
5222 Lorain Ave, Cleveland, OH 44102

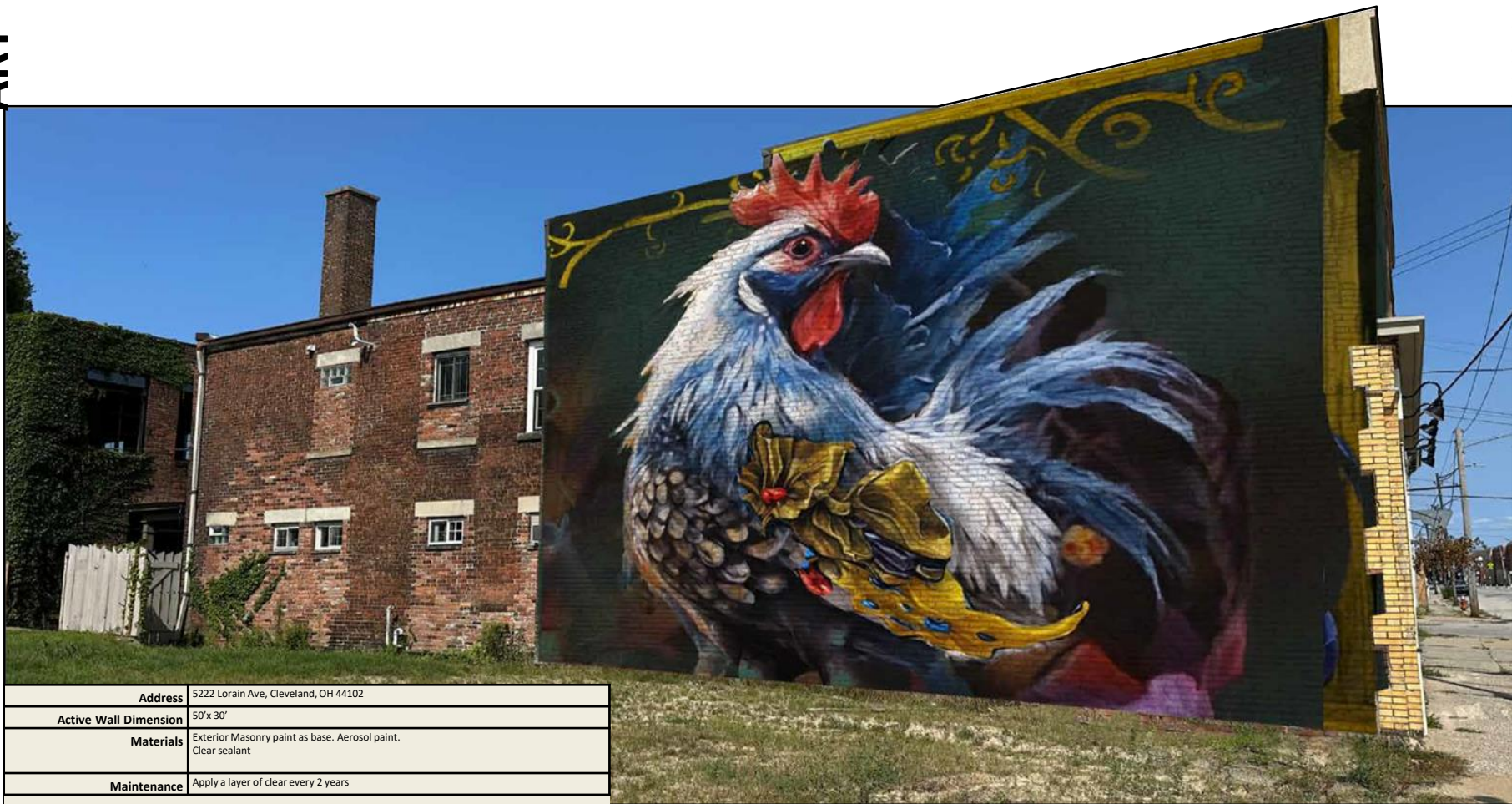




Address:

5222 Lorain Ave, Cleveland, OH 44102





Address	5222 Lorain Ave, Cleveland, OH 44102
Active Wall Dimension	50'x 30'
Materials	Exterior Masonry paint as base. Aerosol paint. Clear sealant
Maintenance	Apply a layer of clear every 2 years

Le Chant du Roi (Song of the King)

Commanding the side wall of the **Judith**, a Parisian-style café, **Le Coq en Garde** stands as a symbol of elegance, vigilance, and rustic charm. The mural features an exquisitely detailed rooster, its plumage a symphony of opulent blues, whites, and silvers, adorned with gilded accents and jeweled motifs. The golden armor piece on its chest, intricately designed and encrusted with vibrant gemstones, conveys a regal air, as though the rooster were a guardian of both tradition and artistry. The mural seamlessly integrates the architectural details of the building itself, incorporating decorative cornices, wrought iron accents, and vintage-style window frames into the design. These elements are mirrored in the golden scroll-work that frames the artwork, creating a harmonious dialogue between the mural and the café's timeless Parisian aesthetic.

Situated in the heart of a bustling neighborhood, the mural transforms the café into a cultural beacon, drawing the eyes of both passersby and patrons lounging at outdoor tables. During the café's monthly spring and summer events, the mural becomes the backdrop for lively gatherings, with its rich details shimmering in the warm light of long afternoons. Whether paired with the sounds of street musicians or the laughter of an engaged crowd, **Le Coq en Garde** captures the spirit of community and celebration that defines the café's charm.

With its striking beauty and commanding presence, **Le Chant du Roi** elevates the café to a cultural landmark, embodying a harmony of art, tradition, and celebration. It invites all who see it to revel in the spirit of the kingly song, a melody of elegance and pride that resonates far beyond its walls.



Case 25-018

Certificate of Appropriateness

Rose Building

Project Scarlet 2060 East 9th Street

Signage

Project Representatives: Mark Bailin, Diamond Signs & Graphics; Michael Christoff, Vocon

Ward 3: Councilmember McCormack





4516 Renaissance Parkway
Warrensville Heights, OH 44128
Contact: Mark Bailin
216-367-9898
mbailin@diamondvcs.com

PROJECT SCARLET

TEMPORARY CONSTRUCTION DURATION BANNER

42 FEET WIDE BY 17.5 FEET HIGH

INSTALLED ON TO EXISTING ROOFTOP STRUCTURE

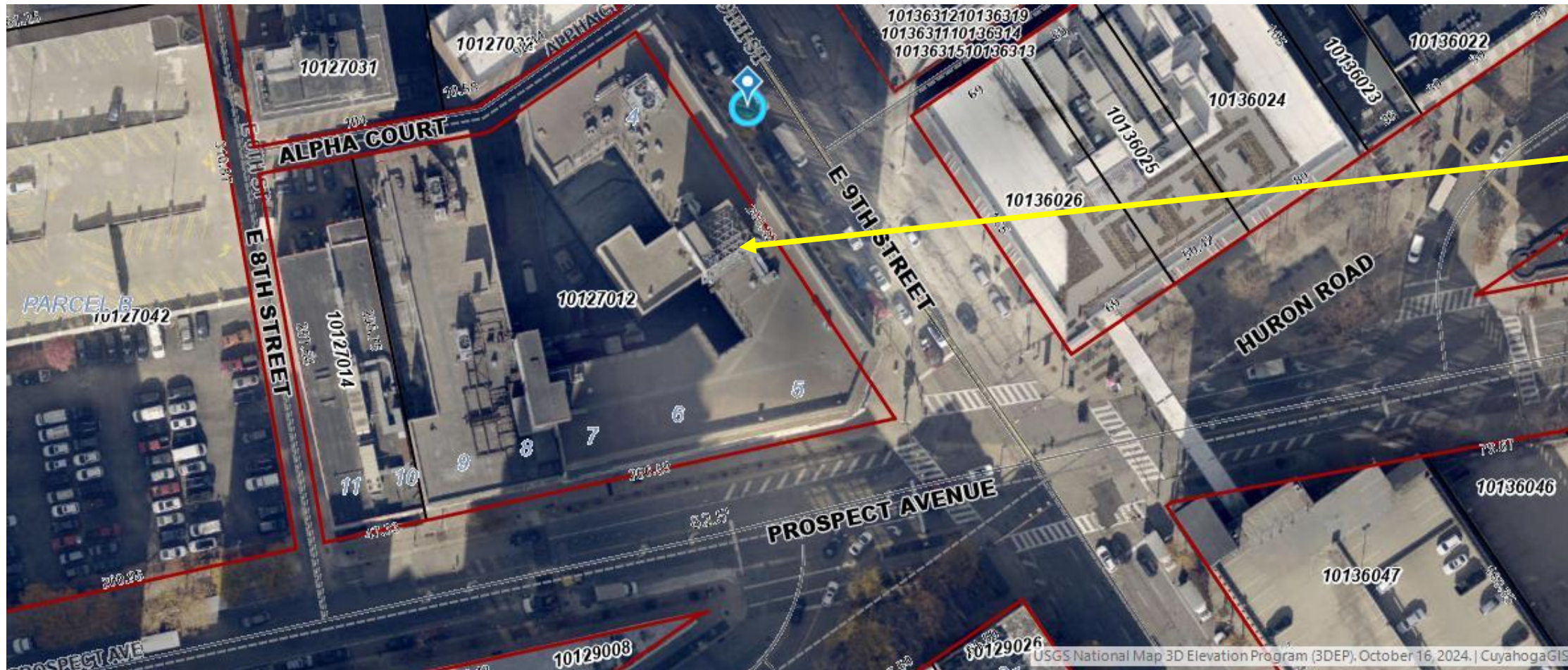
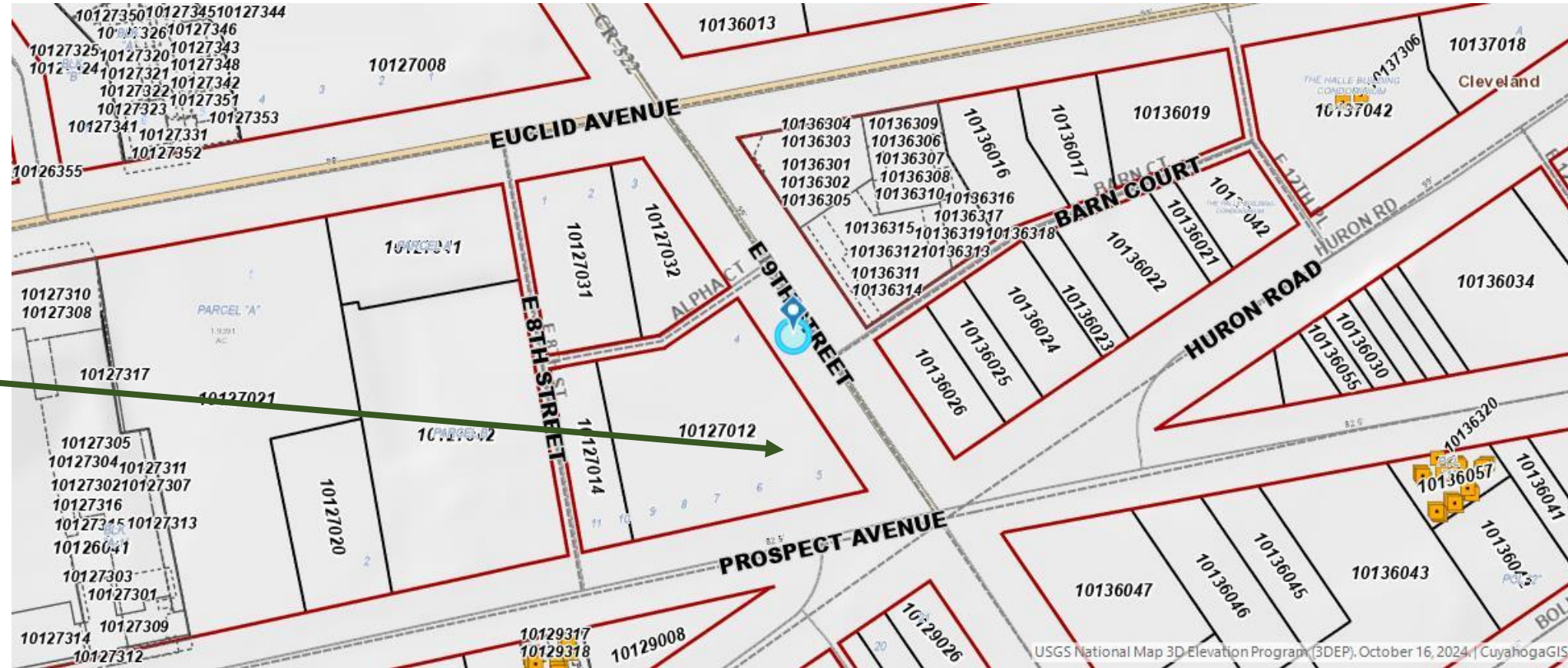
EXTERIOR SIGN – Location of Building

Client:
GHC – Living

Location:
2060 East 9th St.,
Cleveland, OH 44115 US



Project Location



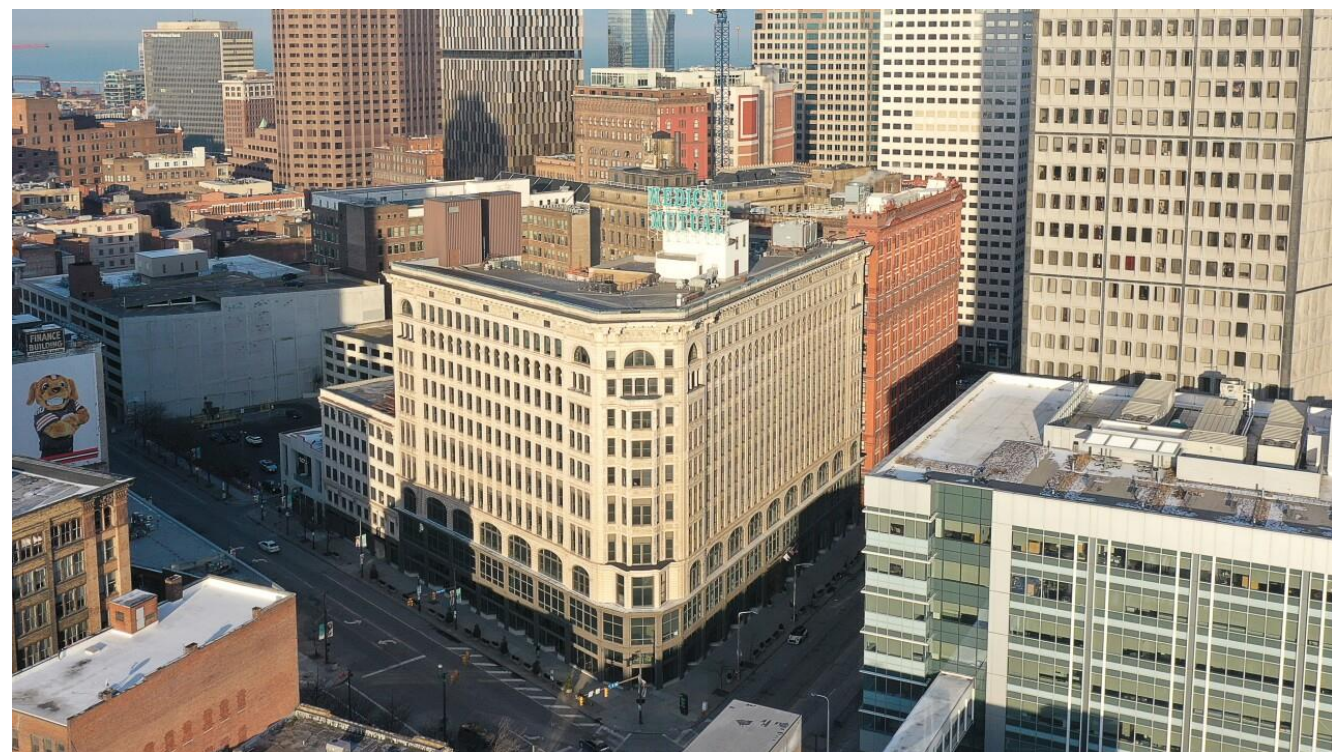
Project Location

EXTERIOR SIGN – Prior and Current Views

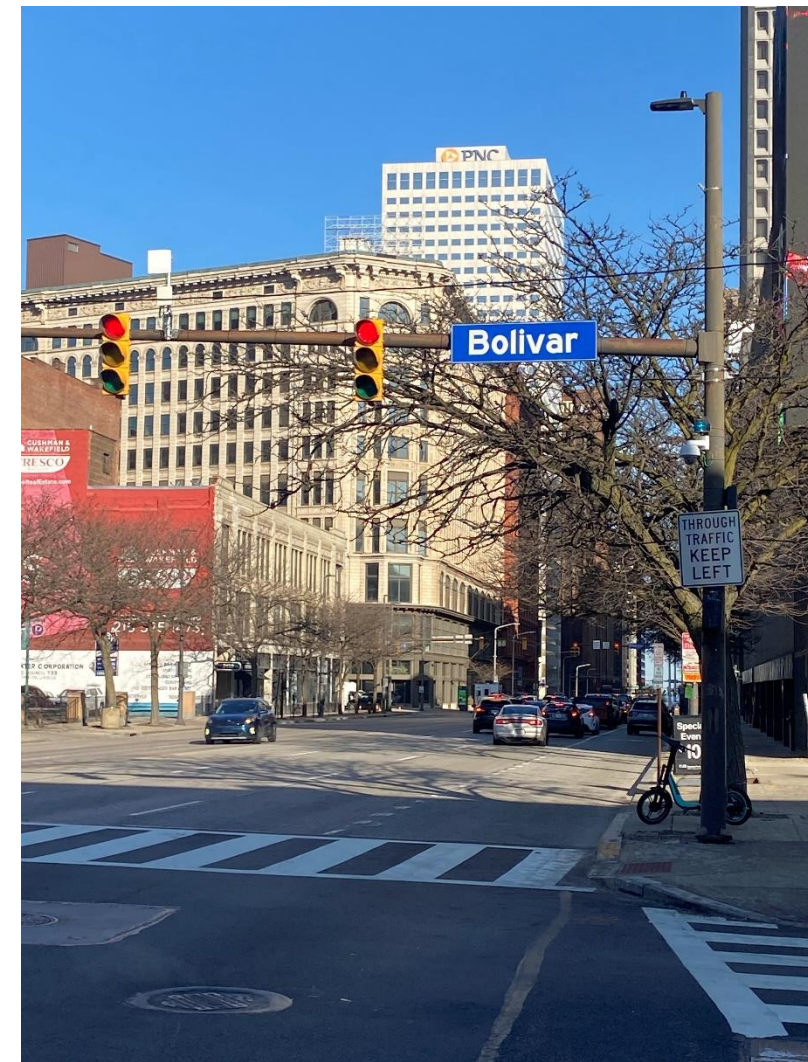
Client:
GHC – Living

Location:
2060 East 9th St.,
Cleveland, OH 44115 US

Previous Views of Location



Current Ground Views of Location



DIAMOND
SIGNS
& GRAPHICS

EXTERIOR SIGN RENDERINGS

Client:
GHC Living – EAST 9TH SCARLET LLC

Location:
2060 East 9th Street
Cleveland, OH 44115

Sign Type:
Mesh Banner

Dimensions:
42 feet wide by
17.5 feet high

Frontage:
265 feet along Prospect
235 feet along East 9th St

Total Square Feet:
735 Square Feet

Elevation:
Rooftop – 10 Stories up

Sign Details:
Mesh vinyl with digital print
Webbing on the edges
for reinforcement

Install Method:
Grommets every 12 inches
Connected to
1" ratchet straps &
1/4" fasteners

Colors:
Scarlet and white

South of Carnegie

Not to Scale



Proposed views

Rooftop

1/8" = 1 Foot



EXTERIOR SIGN RENDERINGS

Client:
GHC Living – EAST 9TH SCARLET LLC

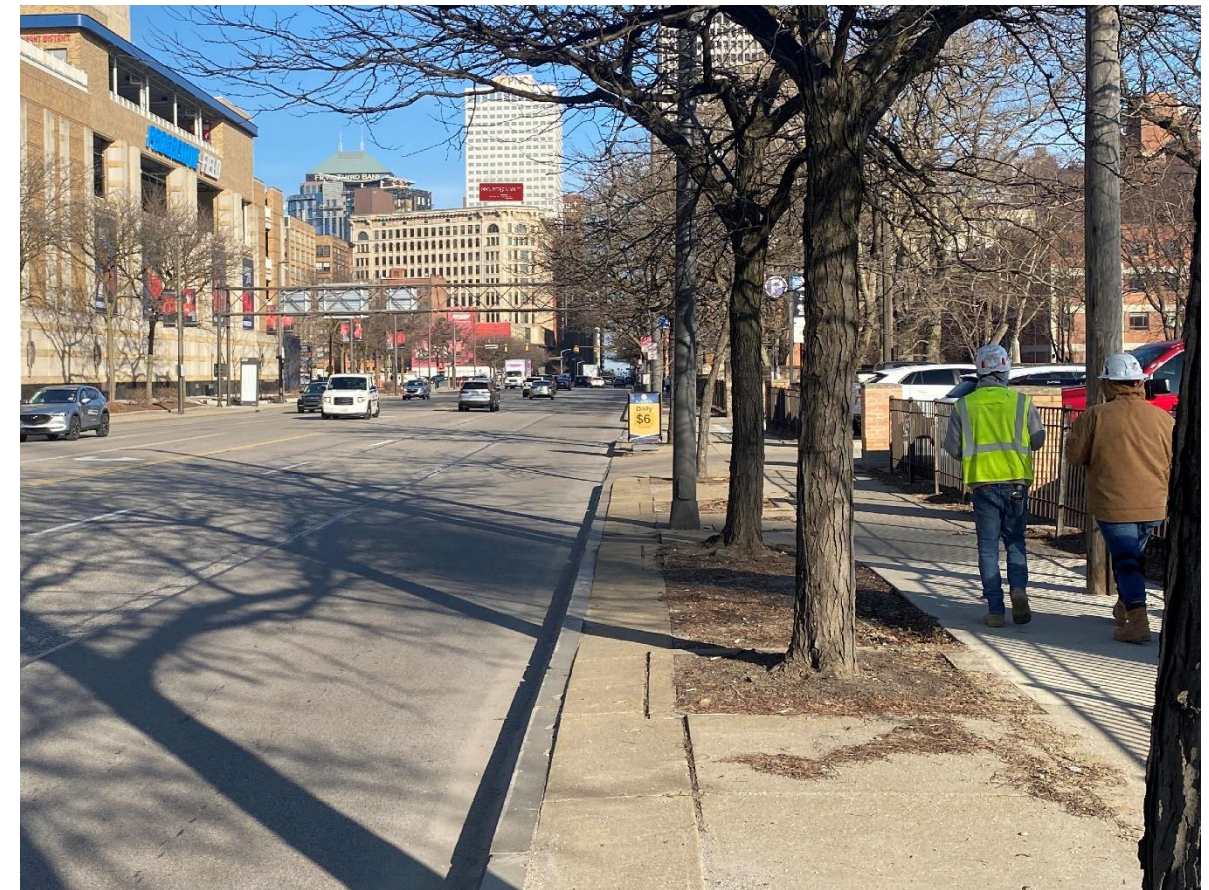
Location:
2060 East 9th Street
Cleveland, OH 44115

Lighting:
Existing floodlights at perimeter of parapet to remain and light temporary construction sign

Proposed Views

NOT TO SCALE

Proposed view from North of Carnegie



Proposed night view



Proposed view from North of Erie Street

EXTERIOR SIGN DETAILS



Client:
 GHC Living - EAST9TH SCARLET LLC
 2060 East 9th Street
 Cleveland, OH 44115

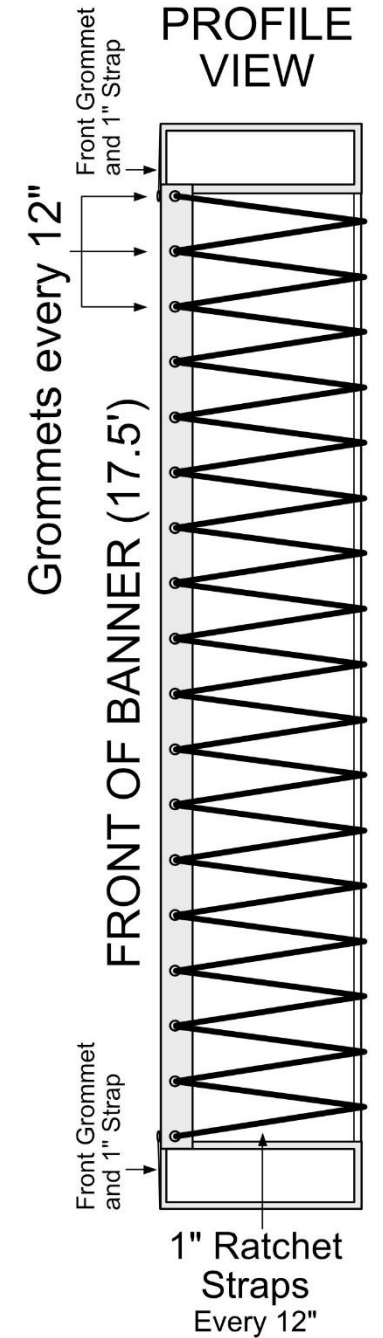
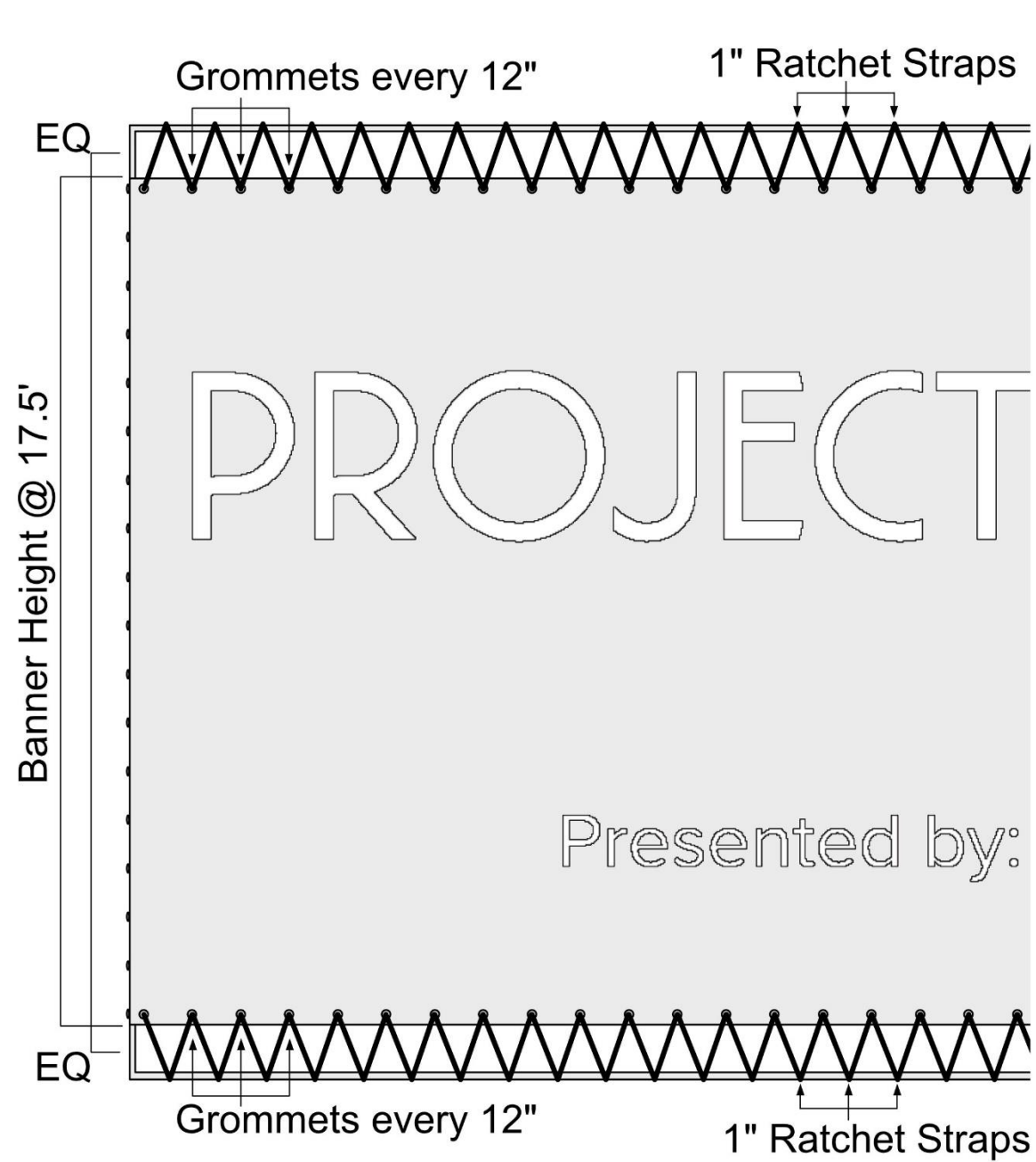
Sign Type:
 Mesh Banner

Total Square Feet:
 735 Square Feet

Frontage:
 265 feet along Prospect
 Includes both buildings
 Rose and Sloan
 185 feet along Prospect for
 the Rose Building Frontage
 235 feet along East 9th St

Dimensions:
 42 feet wide by
 17.5 feet high

Sign Details:
 Mesh vinyl with digital print
 Webbing on the edges
 for reinforcement



Case 25-019

Certificate of Appropriateness

Lorain Avenue Historic District

Partnership for Good Health 5600 Lorain Avenue

Renovation

Project Representatives: Lucas Staib, AODK, Inc.

Ward 15: Councilmember Spencer

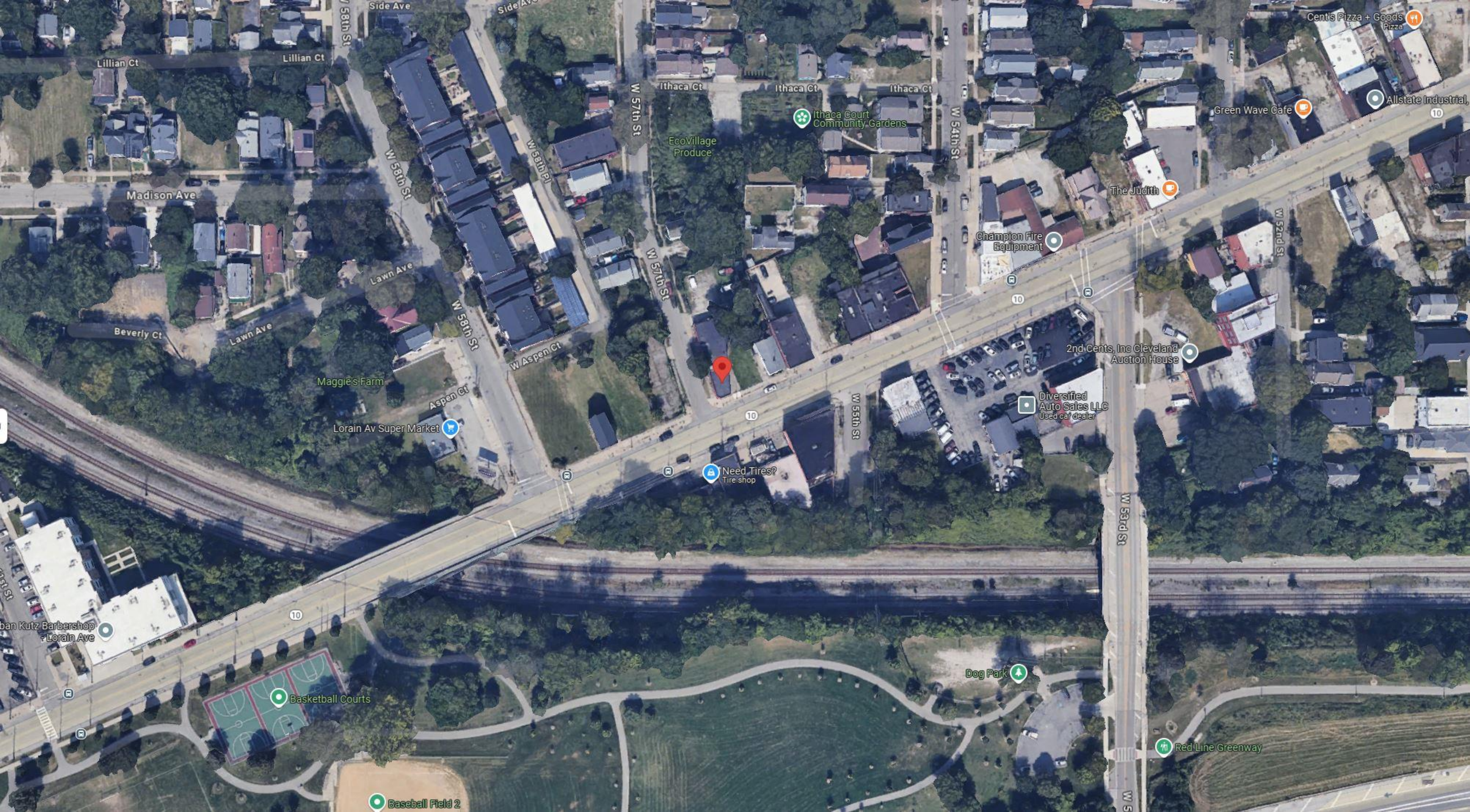


RENOVATION OF THE EXISTING BUILDING AT
5600 LORAIN AVENUE



PRESENTATION TO
CLEVELAND'S LANDMARKS COMMISSION
04.03.2025

AODK vision
architecture
branding



Cent's Pizza + Goods Pizza

Allstate Industrial

Green Wave Cafe

Ithaca Court Community Gardens

EcoVillage Produce

The Judith

Champion Fire Equipment

2nd Cents, Inc Cleveland Auction House

Diversified Auto Sales LLC Used car dealer

Need Tires? Tire shop

Lorain Av Super Market

Maggi's Farm

Dog Park

Basketball Courts

Baseball Field 2

Red Line Greenway





Partnership for Good Health (PGH) was established in 2022. PGH provides compassionate, culturally informed care support to the newest members of our community—offering holistic support that nurtures the physical, emotional, and social well-being of resettled people and families, while empowering and strengthening entire communities.

Our mission is to advance health equity by reducing cultural and language barriers to healthcare in Cuyahoga County.

Our vision is for refugees, immigrants, and migrants to receive equitable healthcare in Cuyahoga County.

WHAT WE DO



Languages Served

Currently, we have community health workers who speak:

- Arabic
- Dari
- Kibembe
- Nepali
- Pashto
- Swahili



Activities

CHWs extend the efforts of the healthcare team in the community by helping the client navigate the health care system and understand their plan of care.

PGH CHWs are from the communities they serve. They share a culture and language, which helps build a trusting relationship.

They have 3 functions-- **navigate, coordinate, and educate:**

- healthcare navigation (transport to appointments, pharmacy, or other resources like diaper banks)
- care coordination (making sure the client and families understand the plan of care and scheduling those needs)
- health education (individual and group-- teaching parents about elevated lead, outreach education for breast cancer screening, etc.)

OFFICE RENOVATION

5600 LORAIN AVE. - CLEVELAND, OH 44102

FUTURE HOME OF THE



OWNER

THE SWEDRYK COLLECTIVE, LLC
5600 LORAIN AVENUE
CLEVELAND, OH 44102
PHONE: 216-402-6394

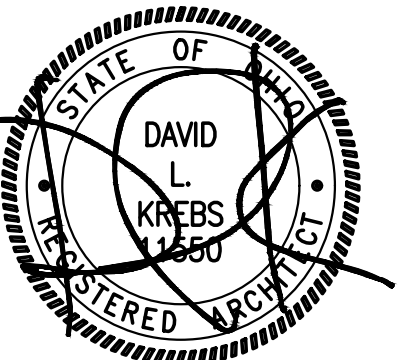
GENERAL CONTRACTOR

MUSTARD SEED DEVELOPMENT
CLEVELAND, OH 44102
PHONE: 216-577-3577

ARCHITECT

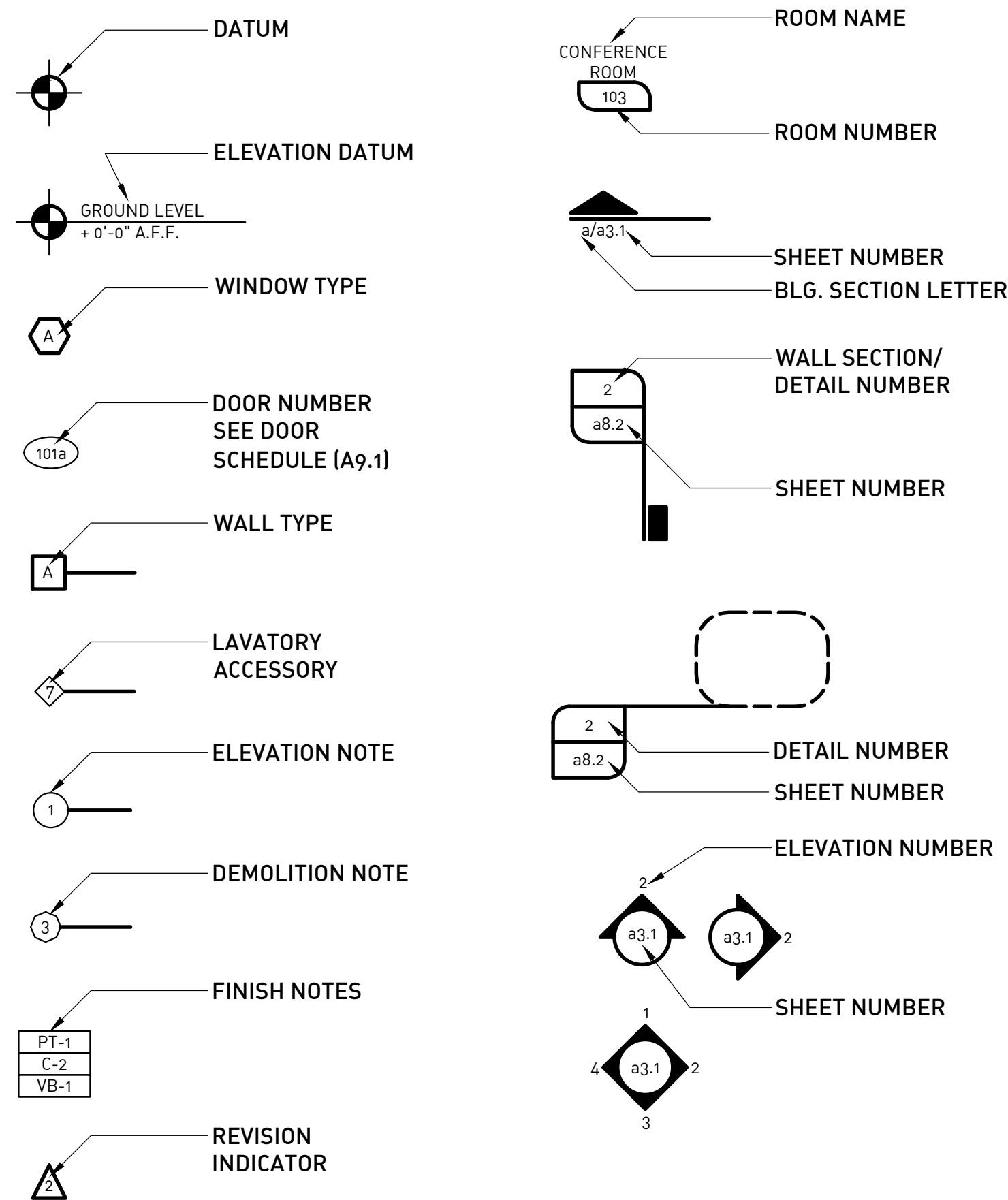
AODK, INC.
14394 DETROIT AVENUE
LAKEWOOD, OHIO 44107
PHONE: 216.771.1920

AODK



DAVID KREBS - LICENSE NO. 11550
EXPIRATION DATE: 12-31-2021

SYMBOL LEGEND:



ABBREVIATION LEGEND:

A.F.F.	ABOVE FINISH FLOOR	MAX.	MAXIMUM
A.C.T.	ACOUSTICAL CEILING TILE	MECH.	MECHANICAL
ALUM.	ALUMINUM	MTL.	METAL
APPROX. BD.	APPROXIMATE BOARD	MIN.	MINIMUM
B.O.	BOTTOM OF	MLDG.	MOULDING
BLK'G	BLOCKING	MTD.	MOUNTED
BM.	BEAM	MFG.	MANUFACTURER
C.T.	CERAMIC TILE	N.I.C.	NOT IN CONTRACT
CLG.	CEILING	N.T.S.	NOT TO SCALE
		OA.	OVERALL
CL.	CENTER LINE	O.C.	ON CENTER
C.J.	CONTROL JOINT	O.D.	OUTSIDE DIMENSION
CLR.	CLEAR DIMENSION	OP'G	OPENING
CMU	CONCRETE MASONRY UNIT	PLAS.	PLASTER
COL.	COLUMN	PLAM.	PLASTIC LAMINATE
CONC.	CONCRETE	PTD.	PAINTED
CONTR.	CONTRACTOR	PLUMB.	PLUMBING
CPT.	CARPET	R.	RISER
D.S.	DOWN SPOUT	R.D.	ROOF DRAIN
DBL.	DOUBLE	R.O.	ROUGH OPENING
DTL.	DETAIL	REF.	REFER TO
DN.	DOWN	REFL. CLG.	REFLECTED CEILING
DWG(S)	DRAWINGS	REINF.	REINFORCED
EA.	EACH	R.G.	RETURN GRILLE
ELEC.	ELECTRICAL	RFG.	ROOFING
ELEV.	ELEVATION	SCHED.	SCHEDULE
EQ.	EQUAL	SHT. NO.	SHEET NUMBER
EX.	EXISTING	SECT.	SECTION
EXP. JT.	EXPANSION JOINT	STL. FR	STEEL FRAME
FIN.	FINISH	STRUCT.	STRUCTURAL
FLR.	FLOOR	S.G.	SUPPLY GRILLE
G.B.	GLASS BLOCK	SUSP. CLG.	SUSPENDED CEILING
GL.	GLASS	SIM.	SIMILAR
GYP. BD.	GYP. BOARD	T.	TREAD
H.M.	HOLLOW METAL	T.O.	TOP OF
H.P.	HIGH POINT	TYP.	TYPICAL
HT.	HEIGHT	U.N.O.	UNLESS NOTED OTHERWISE
HR.	HOUR	V.I.F.	VERIFY IN FIELD
I.D.	INSIDE DIMENSION	VIN.	VINYL
INSUL.	INSULATION	VNR.	VENEER
JST. BRG.	JOINTS BEARING	V.B.	VAPOR BARRIER
L.P.	LOW POINT	W.W.F.	WELDED WIRE FABRIC
M.O.	MASONRY OPENING	WJ	WITH
MAS.	MASONRY	WD.	WOOD
MAT'L.	MATERIAL	W.P.	WORK POINT
		WIN.	WINDOW
		WT.	WEIGHT

GENERAL DRAWING INDEX

- a0.0 COVER SHEET / SITE PLAN
- a1.0 DEMOLITION PLANS
- a2.0 GROUND FLOOR PLAN
- a3.0 EXTERIOR ELEVATIONS

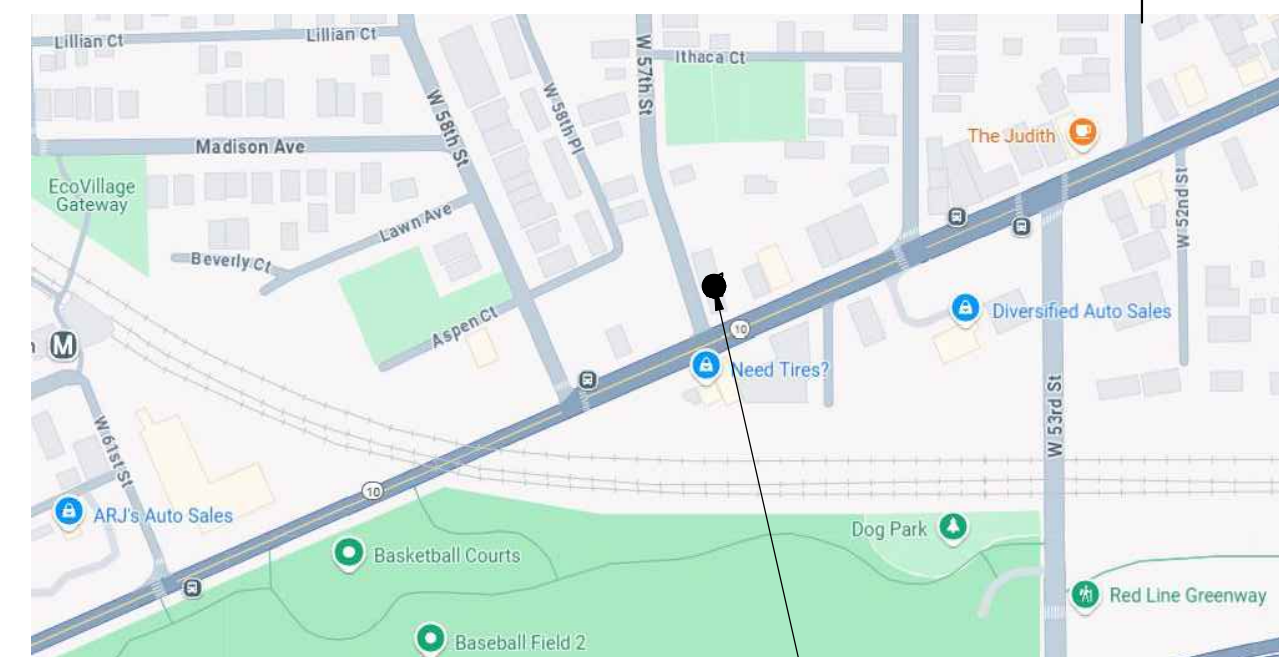
O.B.C. CODE DATA:

<u>BUILDING AREA DESCRIPTION:</u>	
EXTG. OFFICE STOREFRONT:	962 SQ. FT.
EXTG. WAREHOUSE:	1,669 SQ. FT.
TOTAL:	2,631 SQ.FT.
<u>BUILDING CODE:</u> OHIO EXISTING BUILDING CODE 2024	
<u>COMPLIANCE METHOD:</u> PRESCRIPTIVE (ALTERATION)	
<u>CONSTRUCTION TYPE:</u> VB (EXISTING TO REMAIN)	
<u>USE GROUP:</u> FIRST FLOOR: 'B' (PARTNERSHIP FOR GOOD HEALTH OFFICE)	
<u>OCCUPANT LOAD:</u> 2,631 SQ. FT. / 150 'B' USE = 17.54 → 18	
<u>FIRE SUPPRESSION:</u> NOT REQUIRED / NOT PROVIDED.	
<u>FIRE ALARM:</u> NOT REQUIRED / NOT PROVIDED.	

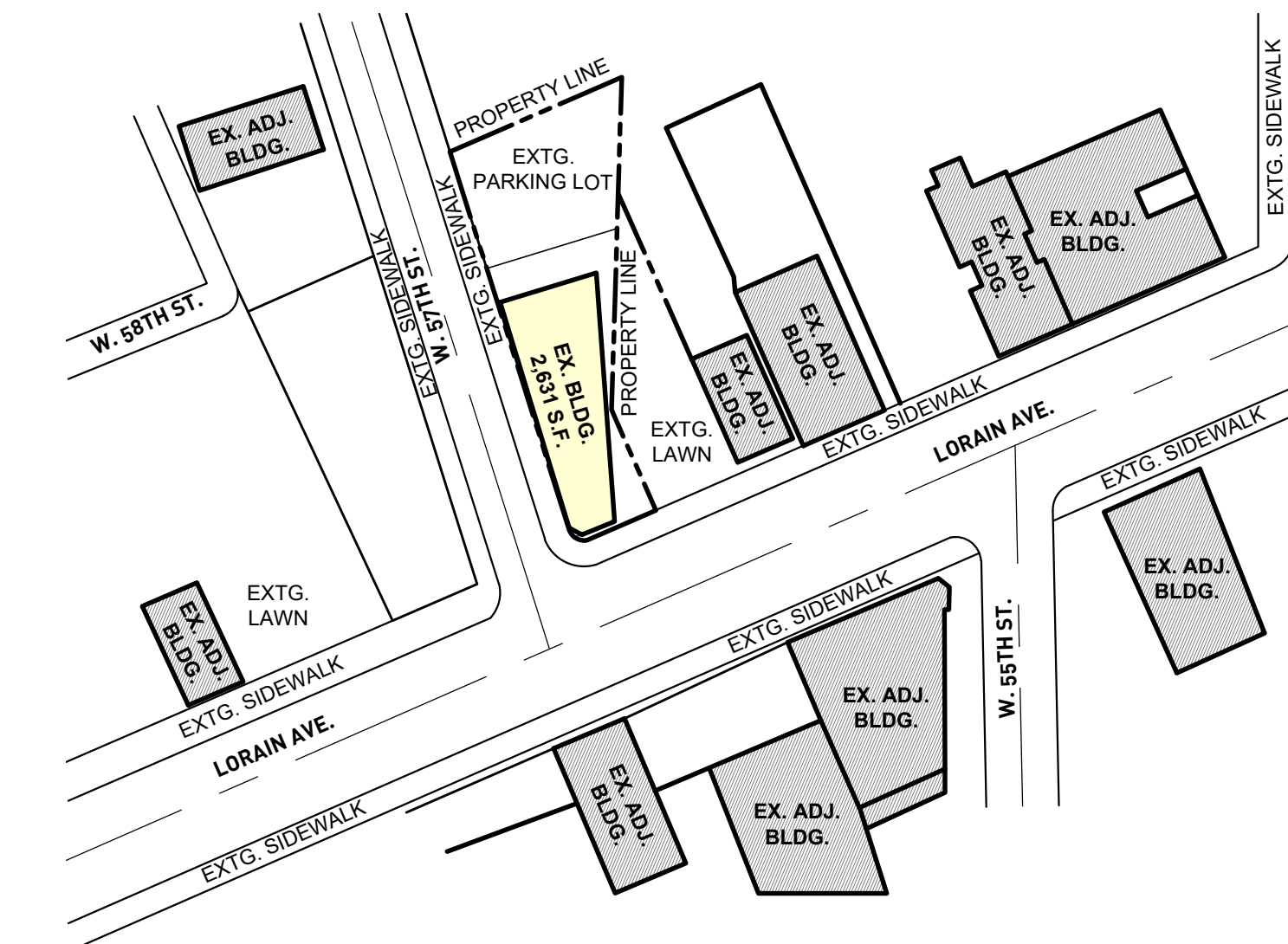
GENERAL NOTES:

1. ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE OHIO EXISTING BUILDING CODE (O.E.B.C.) AND ALL OTHER APPLICABLE FEDERAL, STATE, AND LOCAL CODES.
2. NOTIFY ARCHITECT OF ANY DISCREPANCIES WITH IN THIS DRAWING SET IMMEDIATELY. DO NOT PROCEED WITH WORK IN AREA IN QUESTION UNTIL DISCREPANCY IS RESOLVED.
3. CONTRACTOR IS TO VERIFY ALL EXISTING FIELD CONDITIONS PRIOR TO BEGINNING WORK & NOTIFY ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY.
4. DIMENSIONS, SIZES, LOCATIONS, DISTANCES ETC. ARE NOT TO BE SCALED FROM DRAWINGS.
5. MATERIALS EXPOSED TO RETURN AIR PLENUMS SHALL BE NON-COMBUSTIBLE OR SHALL HAVE A FLAME SPREAD INDEX OF 25 AND A SMOKE DEVELOPMENT INDEX OF NOT MORE THAN 50.
6. INSTALLATIONS OF ALL INTERIOR FINISH MATERIALS TO COMPLY WITH THE OBC.
7. ALL FURNITURE TO BE PROVIDED BY OWNER, UNLESS OTHERWISE NOTED.

SITE LOCATION MAP



PROJECT LOCATION



1
a0.0
EXISTING SITE PLAN
SCALE: NTS
NORTH

ARCHITECTURE OFFICE: DAVID KREBS



PROJECT TITLE:

PROJECT:

PGH OFFICE RENOVATION
5600 LORAIN AVENUE
CLEVELAND, OH 44102

PERMIT SET

02.28.2025

ISSUE DATE:

AUTHORIZATION:

THESE DRAWINGS, DESIGN, CONCEPT AND INFORMATION ARE THE EXCLUSIVE PROPERTY OF AODK, INC. THEY ARE FOR CONSTRUCTION ONLY AT THE SITE INDICATED. UNAUTHORIZED USE, ALTERATION OR REPRODUCTION OF THE DOCUMENTS AND DESIGN IS PROHIBITED WITHOUT WRITTEN PERMISSION FROM AODK, INC.

JOB NO.:

24-50

SHEET NO.:

COVER SHEET / SITE PLAN
a0.0

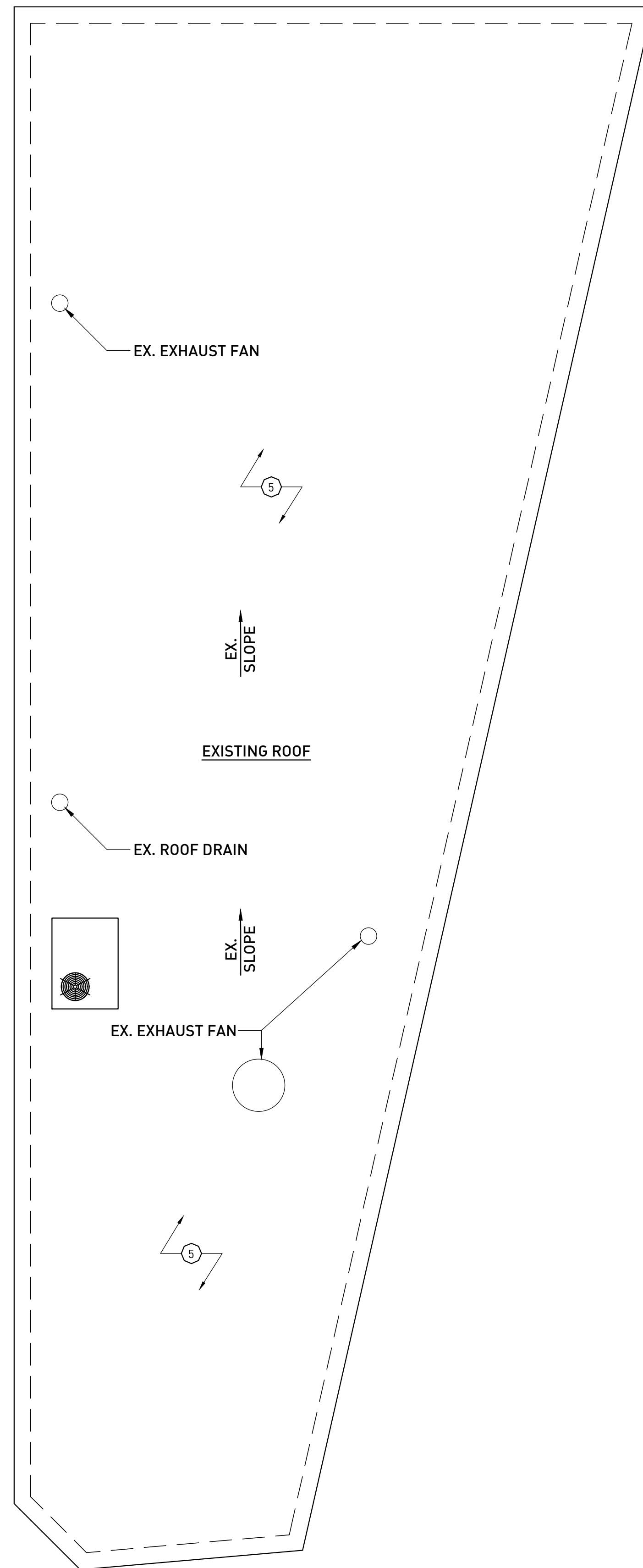
SHEET NO.:

GENERAL DEMOLITION NOTES:

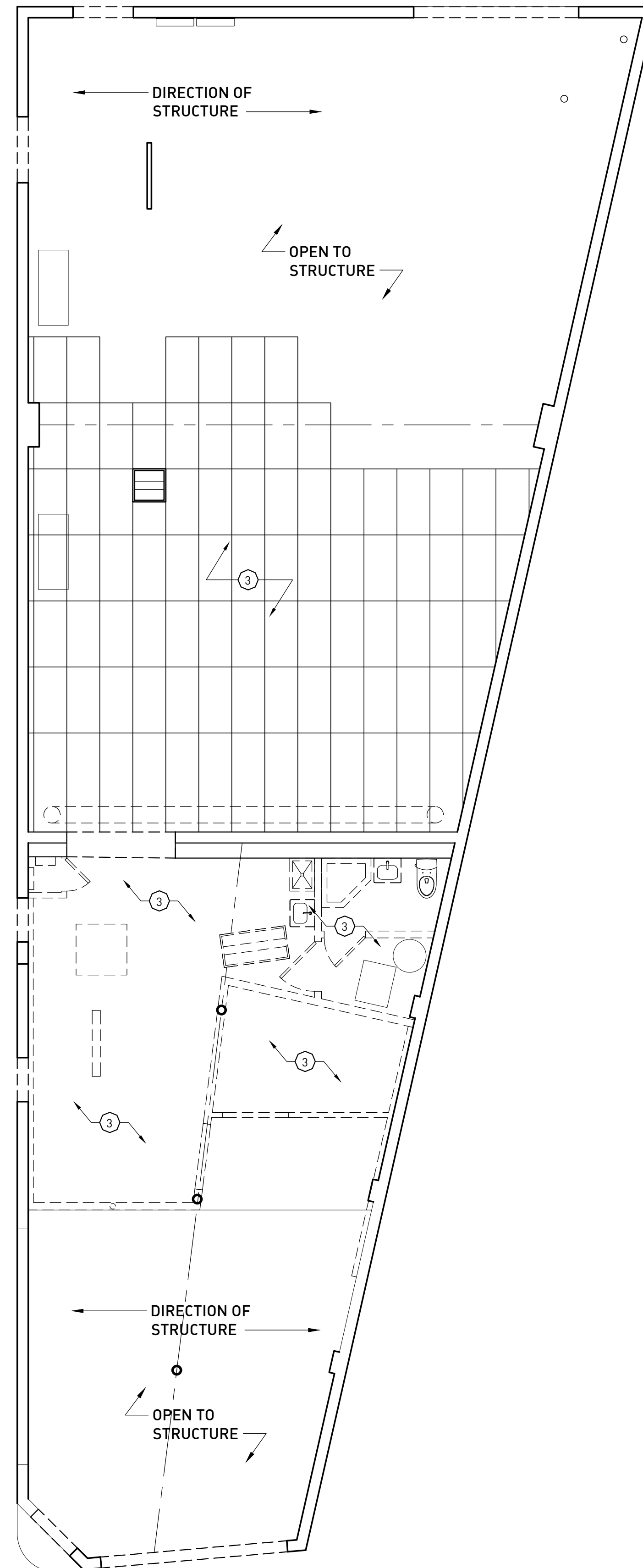
- ALL EXISTING WALLS AND DOORS TO BE REMOVED ARE SHOWN AS A DASHED LINE. "REMOVE" INDICATES COMPLETE DEMOLITION, REMOVAL AND DISPOSAL OF ALL CONCERNED ITEMS OFF SITE. TYPICAL ITEMS TO BE "REMOVED" INCLUDE ALL ADDED WALLS, CEILINGS, SECONDARY FLOOR COVERINGS, LIGHTING, PLUMBING, ELECTRICAL, MECHANICAL, FREESTANDING UNITS, FURNITURE AND TRASH ETC. NOT SPECIFICALLY NOTED TO REMAIN.
- ALL EXISTING WALLS AND DOORS TO REMAIN ARE SHOWN AS A SOLID LINE. "TO REMAIN" INDICATED ANY ITEMS NOT TO BE ALTERED, DEMOLISHED OR REMOVED. THESE ITEMS ARE TO BE CAREFULLY LEFT INTACT, IN THEIR ORIGINAL POSITION AND PROTECTED THROUGHOUT THE PROCESS.
- EXISTING PERIMETER WALLS AND ALL LOAD BEARING ELEMENTS TO REMAIN.
- IN AREAS INDICATED ON REFLECTED CEILING PLAN, DEMO EXISTING SUSPENDED CEILINGS AND ALL MISC. HANGING DEVICES, TIES, CABLES, ETC. FOR CLEAN STRUCTURE.
- DEMO ALL EXISTING CARPET AND MISC. FLOORING.
- CONTRACTOR TO EXHIBIT REASONABLE CARE WHEN REMOVING WALLS ADJACENT TO EXISTING WALLS AND COLUMNS TO REMAIN.
- ALL TRANSITIONS BETWEEN DEMO WALLS AND EXISTING WALLS TO REMAIN ARE TO BE CLEAN AND PREPARED FOR FILLING & PATCHING.
- CONTRACTOR TO CONSULT WITH OPERATIONS MANAGER PRIOR TO DEMOLITION TO DETERMINE IF ANY ITEMS ARE TO BE SALVAGED, AND ANY HANDLING AND STORAGE REQUIREMENTS.
- DEMOLITION CONTRACTOR WILL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ANY NEW DAMAGE TO EXISTING ITEMS TO REMAIN.
- PROTECTION: PROVIDE TEMPORARY BARRICADES, FENCES, ROOFS, ETC. AS REQUIRED TO PROTECT THE PERSONNEL AND GENERAL PUBLIC FROM INJURY DURING THE DEMOLITION PROCESS. PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURE OR WORK TO REMAIN. PROTECT FROM DAMAGE ALL EXISTING FINISH WORK THAT IS TO REMAIN IN PLACE DURING THE DEMOLITION OPERATIONS. PROTECT ALL FLOORS TO REMAIN WITH SUITABLE COVERINGS WHEN NECESSARY.
- PRIOR TO COMMENCEMENT OF SELECTIVE DEMOLITION: INSPECT AREAS IN WHICH WORK WILL BE PERFORMED. PHOTOGRAPH EXISTING CONDITIONS OF STRUCTURE, SURFACES, EQUIPMENT OR SURROUNDING PROPERTIES WHICH COULD BE MISCONSTRUED AS DAMAGE RESULTING FROM SELECTIVE DEMOLITION WORK. FILE WITH OWNERS REPRESENTATIVE PRIOR TO STARTING WORK.
- ENVIRONMENTAL CONTROLS: USE WATER SPRINKLING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN AIR TO LOWEST PRACTICAL LEVEL. COMPLY WITH ALL GOVERNING REGULATIONS AND LOCAL AUTHORITIES PERTAINING TO ENVIRONMENTAL PROTECTION AND AIR / WATER POLLUTION CONTROLS. DO NOT USE WATER WHEN IT MAY CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS FLOODING OR POLLUTION.
- DISPOSAL OF DEMOLISHED MATERIALS: REMOVE DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS FROM THE BUILDING SITE. TRANSPORT AND LEGALLY DISPOSE OF ALL MATERIALS OFF SITE. IF IF "HAZARDOUS" CONDITIONS ARE ENCOUNTERED DURING DEMOLITION OPERATIONS, CEASE WORK IN THAT AREA AND NOTIFY THE OWNER / ABATEMENT MANAGER OF CONDITION. ABATEMENT CONTRACTOR WILL BE RESPONSIBLE TO CONTRACT REMOVAL IN COMPLIANCE WITH ACCEPTABLE REGULATIONS, LAWS AND ORDINANCES CONCERNING REMOVAL, HANDLING AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION. WHEN THE AREA IS SIGNED OFF AS CLEAN, WORK MAY PROCEED. BURNING OR SELLING OFF OF REMOVED MATERIALS IS NOT PERMITTED ON THE PROJECT SITE.

DEMOLITION KEY NOTES:

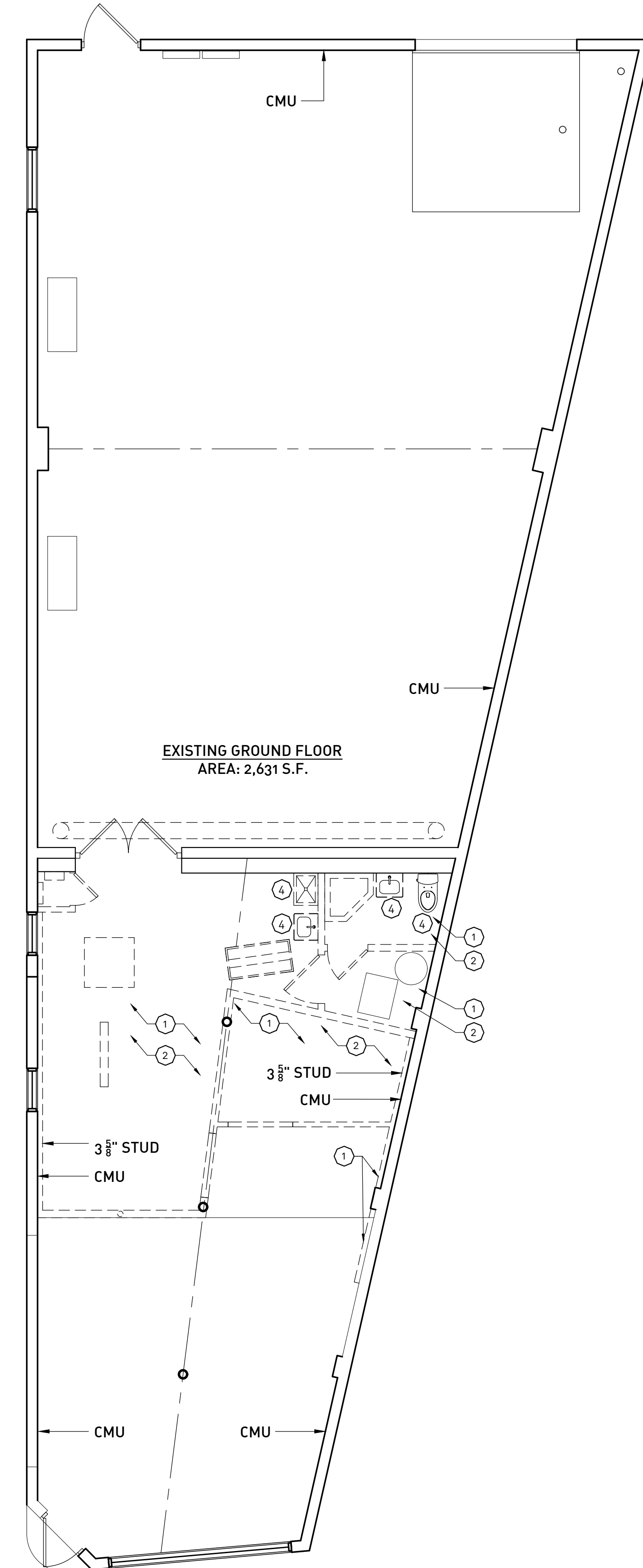
- REMOVE ALL EXISTING, NON-LOAD BEARING INTERIOR WALLS; INCLUDING ALL INTERIOR DOORS, WINDOWS, AND THEIR ASSOCIATED JAMBS AND HARDWARE
- REMOVE ALL EXISTING FLOORING DOWN TO THE ORIGINAL WOOD DECKING
- REMOVE ALL EXISTING CEILINGS TO EXPOSE EXISTING STRUCTURAL MEMBERS
- REMOVE EXISTING PLUMBING FIXTURES AND CAP OFF EXISTING PLUMBING LINES
- REMOVE EXISTING ROOFING MATERIALS DOWN TO SUBSTRATE, WHERE ROOF REPAIR IS REQUIRED.



3
a1.0 EX. ROOF PLAN
SCALE: 3/16" = 1'-0"
NORTH

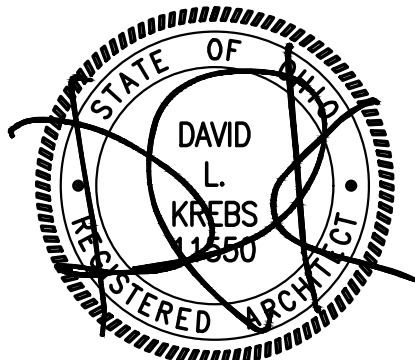


2
a1.0 EX. REFLECTED CEILING PLAN
SCALE: 3/16" = 1'-0"
NORTH



1
a1.0 EX. FLOOR PLAN
SCALE: 3/16" = 1'-0"
NORTH

AODK



DAVID KREBS :: LICENSE NO. :: 11550
EXPIRATION DATE :: 12-31-2021

ARCHITECTURE OFFICE :: DAVID KREBS



PROJECT TITLE:

PROJECT:

PGH OFFICE RENOVATION
5600 LORAIN AVENUE
CLEVELAND, OH 44102

PERMIT SET

02-28-2025

ISSUE DATE:

AUTHORIZATION:

JOB NO.:

24-50

SHEET TITLE:

DEMOLITION PLANS

a1.0

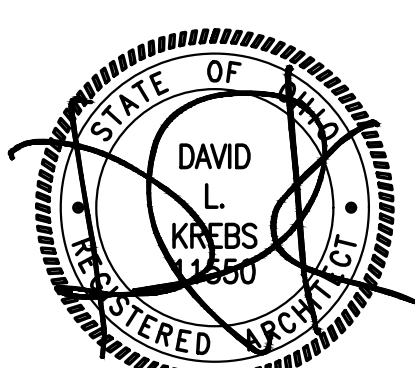
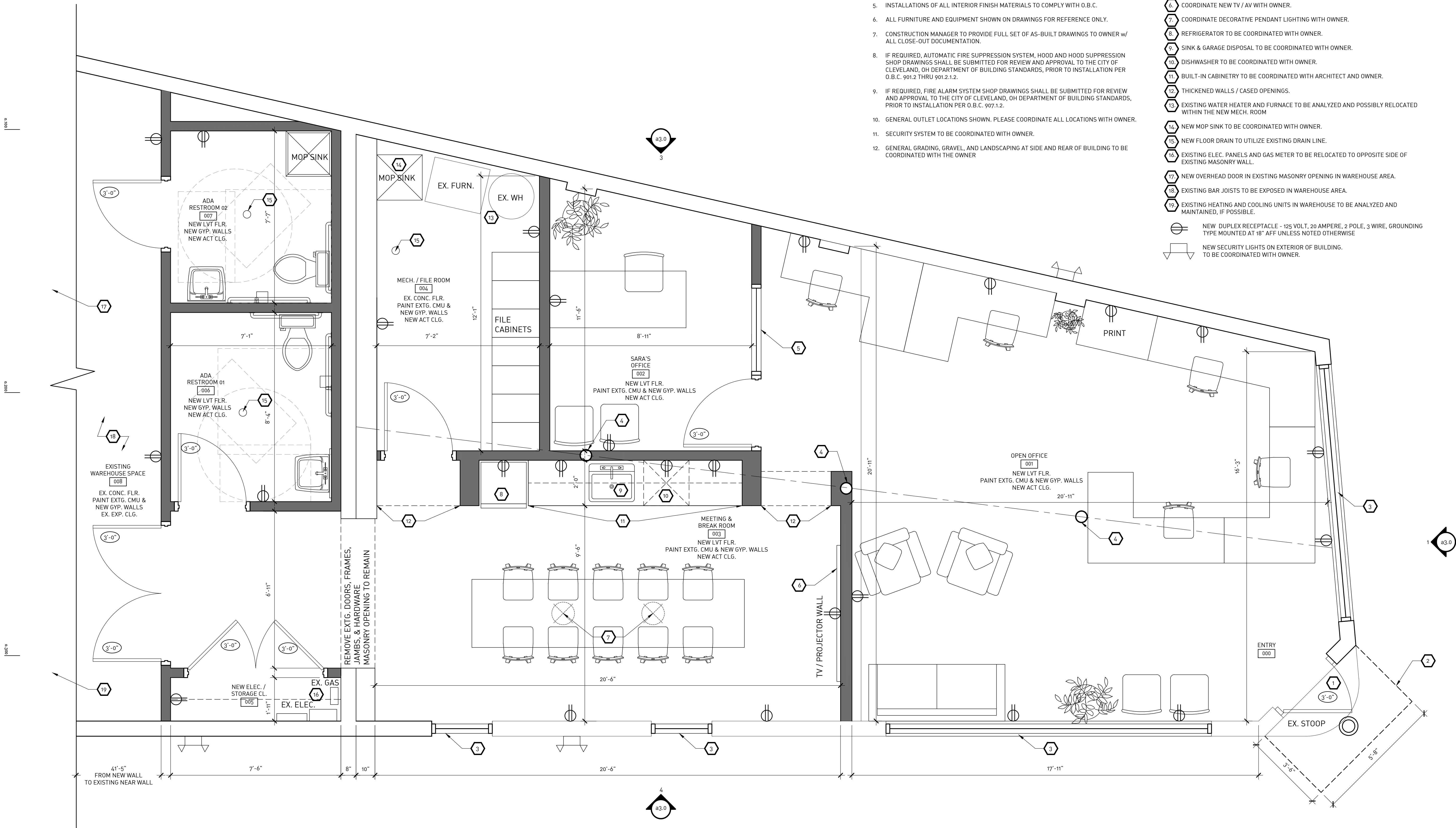
AODK, INC. :: (A) :: 14254, Durell Avenue, Lakewood, OH 44107 :: (P) :: 216.771.9930 :: (F) :: 216.771.9931 :: (W) :: www.aodkinc.com

GENERAL NOTES:

- IT IS THE RESPONSIBILITY OF THE CONSTRUCTION MANAGER TO REVIEW ALL DRAWINGS/SHEETS WITH ALL TRADES TO PROVIDE A COMPLETE AND INCLUSIVE PROJECT THAT COMPLIES WITH THE DESIGN INTENT. MISCELLANEOUS COORDINATION OF DRAWINGS/TRADES THAT WOULD BE CONSIDERED STANDARD CONSTRUCTION PRACTICES MUST BE INCLUDED.
- ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE OHIO EXISTING BUILDING CODE (O.E.B.C.) AND ALL OTHER APPLICABLE FEDERAL, STATE, AND LOCAL CODES.
- CONTRACTOR IS TO VERIFY ALL EXISTING FIELD CONDITIONS PRIOR TO BEGINNING WORK & NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- PROVIDE FIRE EXTINGUISHERS OF SIZE, TYPE, NUMBER AND LOCATION PER LOCAL FIRE DEPARTMENT REQUIREMENTS.
- INSTALLATIONS OF ALL INTERIOR FINISH MATERIALS TO COMPLY WITH O.B.C.
- ALL FURNITURE AND EQUIPMENT SHOWN ON DRAWINGS FOR REFERENCE ONLY.
- CONSTRUCTION MANAGER TO PROVIDE FULL SET OF AS-BUILT DRAWINGS TO OWNER W/ ALL CLOSE-OUT DOCUMENTATION.
- IF REQUIRED, AUTOMATIC FIRE SUPPRESSION SYSTEM, HOOD AND HOOD SUPPRESSION SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL TO THE CITY OF CLEVELAND, OH DEPARTMENT OF BUILDING STANDARDS, PRIOR TO INSTALLATION PER O.B.C. 901.2 THRU 901.2.1.2.
- IF REQUIRED, FIRE ALARM SYSTEM SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL TO THE CITY OF CLEVELAND, OH DEPARTMENT OF BUILDING STANDARDS, PRIOR TO INSTALLATION PER O.B.C. 907.1.2.
- GENERAL OUTLET LOCATIONS SHOWN. PLEASE COORDINATE ALL LOCATIONS WITH OWNER.
- SECURITY SYSTEM TO BE COORDINATED WITH OWNER.
- GENERAL GRADING, GRAVEL, AND LANDSCAPING AT SIDE AND REAR OF BUILDING TO BE COORDINATED WITH THE OWNER.

KEY NOTES:

- NEW STOREFRONT DOOR IN EXISTING OPENING.
- NEW PREFABRICATED METAL CANOPY SYSTEM WITH RECESSED LIGHTING & TIEBACKS TO EXISTING MASONRY FACE. TIEBACK CONNECTIONS TO BE MADE IN EXISTING GROUT JOINTS. COLOR: TO MATCH STOREFRONT SYSTEM. BASIS OF DESIGN: OHIO AWNING & MANUFACTURING COMPANY (216) 861-2400 OR EQUAL. FINAL DESIGN TO BE COORDINATED W/ OWNER.
- REMOVE MASONRY INFILL AT EXISTING OPENINGS, ANALYZE EXISTING STEEL LINTEL, & INSTALL NEW STOREFRONT WINDOW IN EXISTING OPENING.
- EXISTING STEEL COLUMN TO REMAIN. SCRAPE CLEAN AND PAINT.
- NEW INTERIOR STOREFRONT OFFICE WINDOW AND DOOR.
- COORDINATE NEW TV / AV WITH OWNER.
- COORDINATE DECORATIVE PENDANT LIGHTING WITH OWNER.
- REFRIGERATOR TO BE COORDINATED WITH OWNER.
- SINK & GARAGE DISPOSAL TO BE COORDINATED WITH OWNER.
- DISHWASHER TO BE COORDINATED WITH OWNER.
- BUILT-IN CABINETS TO BE COORDINATED WITH ARCHITECT AND OWNER.
- THICKENED WALLS / CASED OPENINGS.
- EXISTING WATER HEATER AND FURNACE TO BE ANALYZED AND POSSIBLY RELOCATED WITHIN THE NEW MECH. ROOM.
- NEW MOP SINK TO BE COORDINATED WITH OWNER.
- NEW FLOOR DRAIN TO UTILIZE EXISTING DRAIN LINE.
- EXISTING ELEC. PANELS AND GAS METER TO BE RELOCATED TO OPPOSITE SIDE OF EXISTING MASONRY WALL.
- NEW OVERHEAD DOOR IN EXISTING MASONRY OPENING IN WAREHOUSE AREA.
- EXISTING BAR JOISTS TO BE EXPOSED IN WAREHOUSE AREA.
- EXISTING HEATING AND COOLING UNITS IN WAREHOUSE TO BE ANALYZED AND MAINTAINED, IF POSSIBLE.
- NEW DUPLEX RECEPTACLE - 125 VOLT, 20 AMPERE, 2 POLE, 3 WIRE, GROUNDING TYPE MOUNTED AT 18" AFF UNLESS NOTED OTHERWISE
- NEW SECURITY LIGHTS ON EXTERIOR OF BUILDING. TO BE COORDINATED WITH OWNER.



DAVID KREBS - LICENSE NO. 11550
EXPIRATION DATE 12-31-2021

ARCHITECTURE OFFICE - DAVID KREBS



PROJECT: PGH OFFICE RENOVATION
5600 LORAIN AVENUE
CLEVELAND, OH 44102

PERMIT SET 02.28.2025

ISSUE DATE:

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24-50

OFFICE RENO PLAN

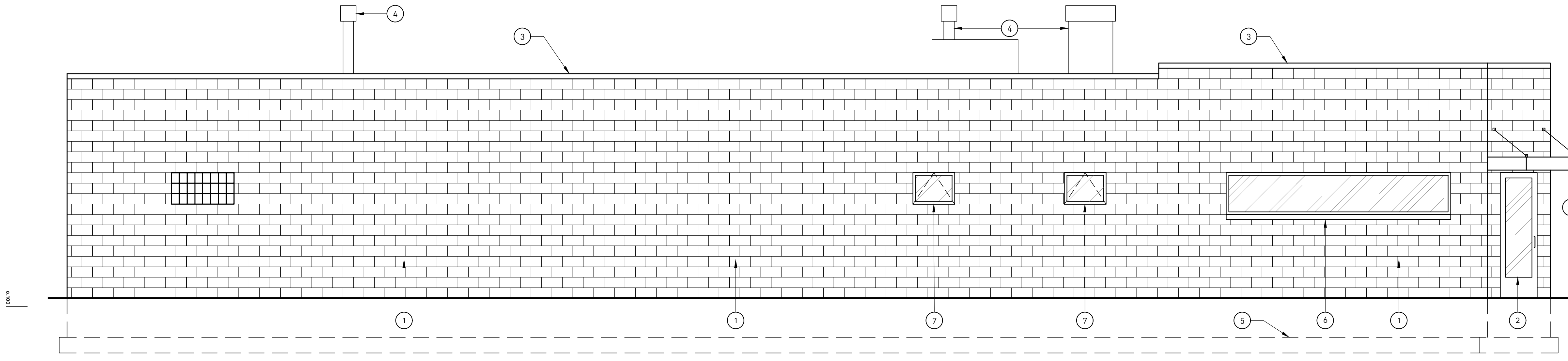
a2.1

OFFICE FLOOR PLAN
SCALE: 1/2" = 1'-0" NORTH

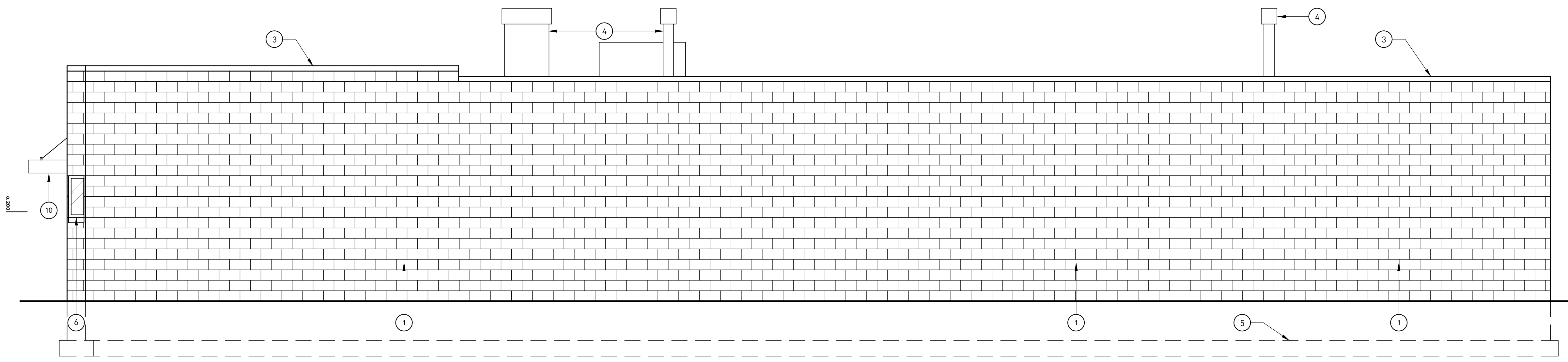
OFFICE RENOVATION:	1,124 SF
EX. WAREHOUSE:	1,345 SF
TOTAL BUILDING:	2,631 SF

EXTERIOR ELEVATION LEGEND:

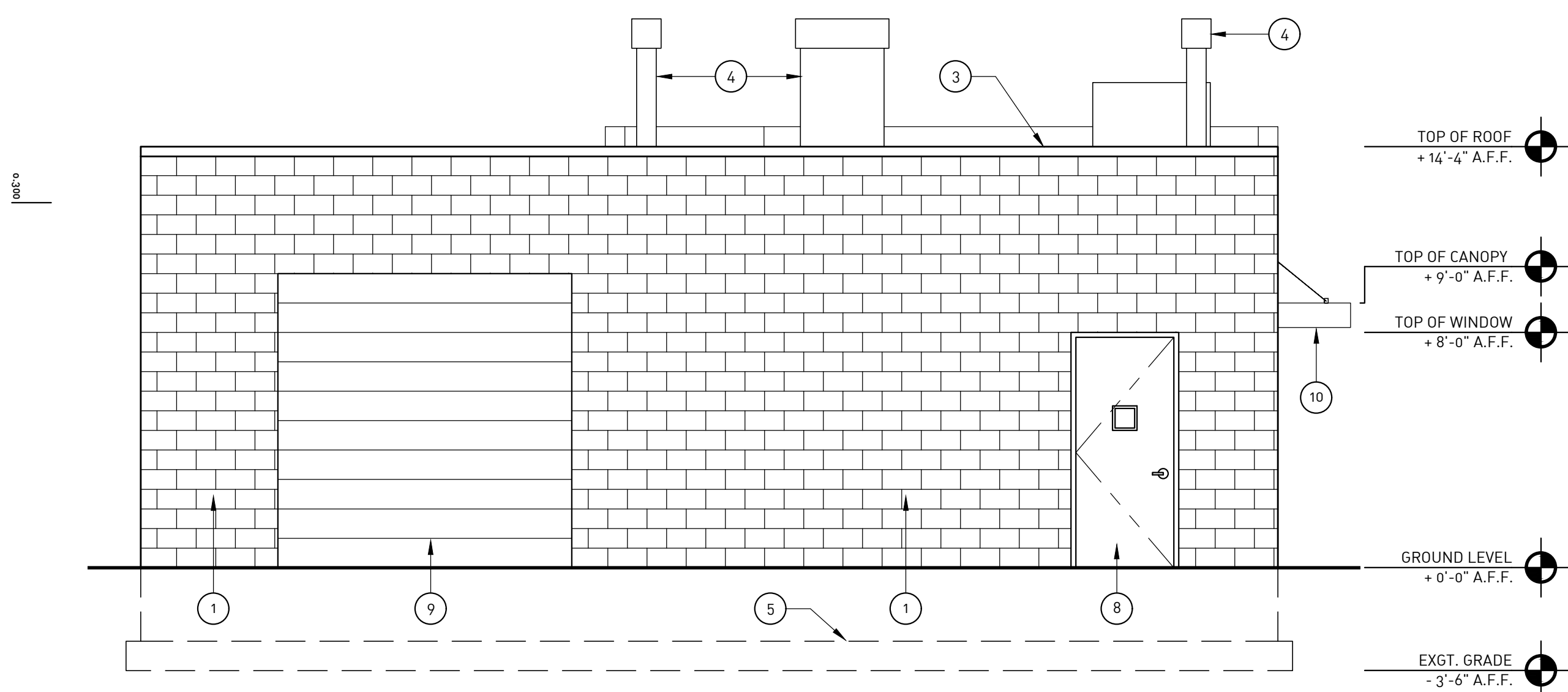
- 1 EXTG. CMU & TRIM TO REMAIN - PATCH, REPAIR, & PAINT AS REQ'D. NEW EXTERIOR PAINT COLORS TO BE COORDINATED WITH THE OWNER.
- 2 NEW STOREFRONT DOOR IN EXISTING MASONRY OPENING.
- 3 EXTG. ROOF STRUCTURE / SLOPE TO REMAIN WHERE REQUIRED. REMOVE EXISTING ROOFING MATERIAL DOWN TO SUBSTRATE AND INSTALL NEW SIMILAR ROOFING MATERIALS, MAINTAINING / REPAIRING EXISTING FLASHING / VENTING CONDITIONS.
- 4 EXTG. CHIMNEY TO REMAIN. PATCH & REPAIR AS REQUIRED.
- 5 EXTG. FOUNDATIONS TO REMAIN. PATCH & REPAIR AS REQUIRED.
- 6 NEW STOREFRONT WINDOW IN EXISTING MASONRY OPENING.
- 7 NEW AWNING WINDOW IN EXISTING MASONRY OPENING.
- 8 NEW METAL DOOR W/ GLASS LITE IN EXISTING MASONRY OPENING.
- 9 NEW OVERHEAD GARAGE DOOR IN EXISTING MASONRY OPENING.
- 10 NEW PREFABRICATED METAL AWNING CANOPY OVER NEW STOREFRONT DOOR.



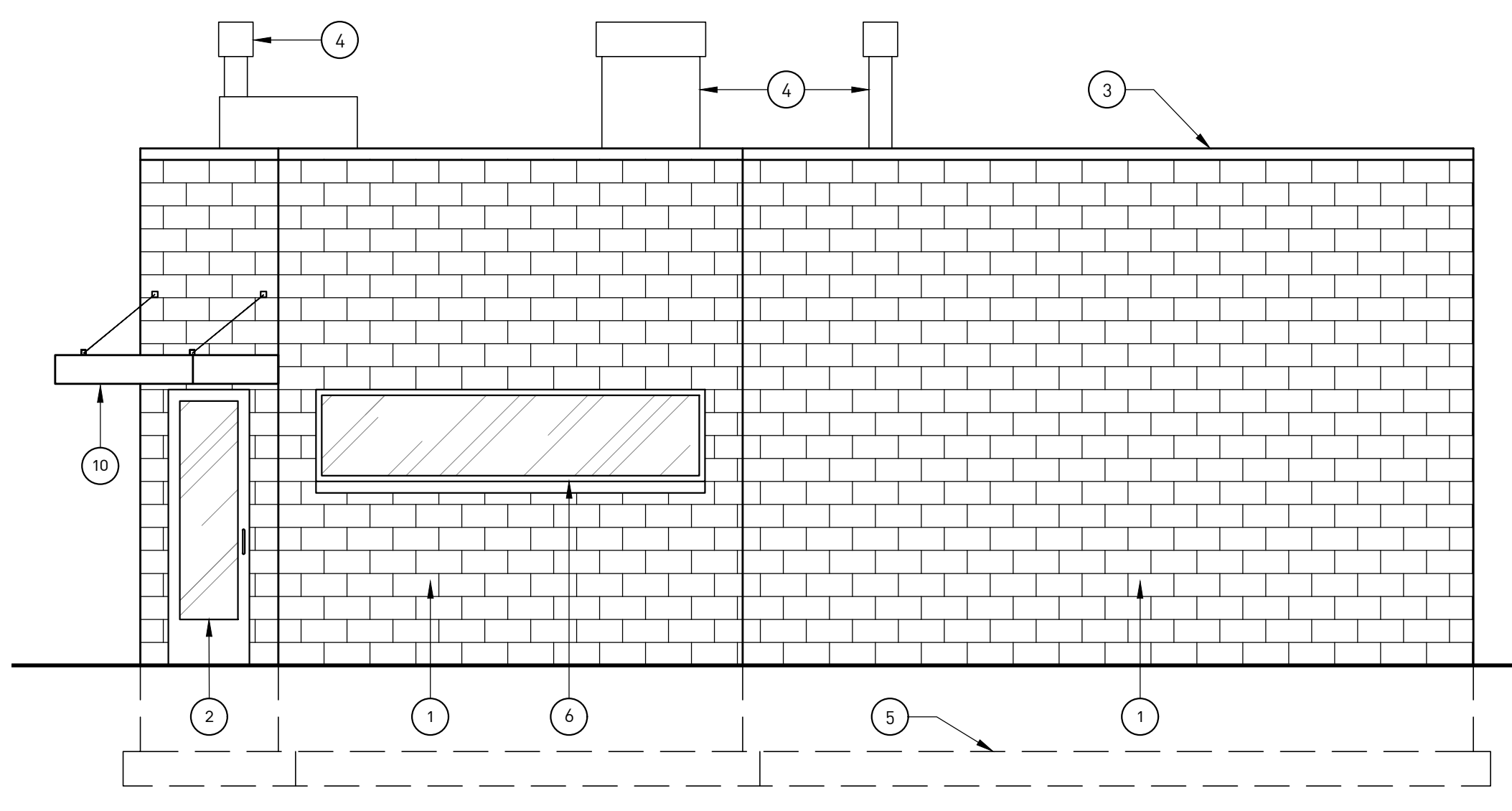
4
a3.0 **NORTH-WEST ELEVATION**
SCALE: 1/4" = 1'-0"



3
a3.0 **SOUTH-EAST ELEVATION**
SCALE: 1/4" = 1'-0"

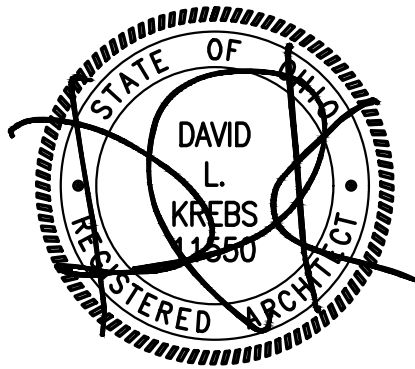


2
a3.0 **SOUTH-WEST ELEVATION**
SCALE: 1/4" = 1'-0"



1
a3.0 **NORTH-EAST ELEVATION**
SCALE: 1/4" = 1'-0"

AODK



DAVID KREBS :: LICENSE NO. :: 11550
EXPIRATION DATE :: 12-31-2021

ARCHITECTURE OFFICE - DAVID KREBS

PROJECT TITLE:

PROJECT:

PERMIT SET

ISSUE DATE:

AUTHORIZATION:

JOB NO.:

SHEET TITLE:

ISSUE NO.:

PGH OFFICE RENOVATION
5600 LORAIN AVENUE
CLEVELAND, OH 44102

02-28-2025

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24-50

EXTERIOR ELEVATIONS

a3.0



5600

© 2022 Google

© 2022 Google

NO PARKING
ANYTIME

25
SPEED LIMIT





NO
PARKING
ANY
TIME

© 2022 Google

© 2022 Google

© 2022 Google





NO PARKING ANY TIME

ONE HOUR PARKING 7:00 AM - 6:00 PM

BLISS
2017





SAFETY
FIRST

Employees Must
Wash Hands Before
Returning To Work









THANK YOU!

AODK vision
architecture
branding

Case 25-021

Certificate of Appropriateness

Shaker Square Historic District

13512 Ardoon Avenue

Siding Installation

Project Representatives: Michael Scaperato, 3rd Generation Home Improvements; Laverne Jones Gore, Homeowner
Ward 4: Councilmember Gray



Slide #1

**Location
of
Property
inside of
Shaker
Square
Historic
District**



Slide #2

Measured Site Plan

NOTES	Siding	B&B	Shake	Stone/Pieces	Soffit	Fascia	W & D
F	30 x 17 = 510				32	32	7W
F	7 x 10 = 70				32	32	1D
R	22 x 17 = 374				7	7	4W
L	22 x 17 = 374				7	7	6W
B	22 x 17 = 374				22	22	1D
B	7 x 16 = 70				22	22	2W
B	30 x 17 = 510				10	10	1W
							5W
							27
	1908				132	132	4.5
ADD WASTE	ADD WASTE L'x W' / 100	L'x W' / 100 min. 1 SQ.	L'x W' / 100 N.W. / C.I.	Stone SQ. Ledges LF.	L'x W' / 100	< 6" or > 6"	key below
Totals	20 SQ.	SQ.	SQ.	SQ.	1.5 SQ.	1.5 LF.	

Master	Split	Dryer	Gable V	Dormers	Shutters	Bow	Surrounds	Headers	Band B's	Fluted	Weather Strip
11	111	11									
2	3	2									

Gutters	DS (10'/PC)	Shur Flo	Rolls of Coil
			6
			SQ.

Notes: \$25,000 Budget \$9,000 down. All black everything.
Upgrade to 6", no guards.

8 windows = 1 roll (SQ)	1 Entry Door = 1 Window	W x H x .66 = SF (GABLES)
Fascia <6" 150 LF = 1 roll	1 Car Garage = 2 Windows	15' = 1 story DS
Fascia >6" 100 LF = 1 roll	2 Car Garage = 3 Windows	30' = 2 story DS

WORK ORDER

3rd Generation Home Improvements
 35835 Vine Street
 Eastlake, OH 44095
 (440) 850-5592

Sales Representative
 Nicole Worcester
 nicole@3ghi.com

Project Manager:
 Derek Ruta
 440-850-4121
 440-850-5592 Ext. 1012
 derek@3ghi.com



Laverne Jones Gore
 13512 Ardoon Ave Cleveland, OH 44120
 (216) 502-8582

Work Order #	25-
Date	3/11/2025

Job #: 25-5243

PLEASE CHECK ALL MATERIALS PICKED UP OR DELIVERED ARE CORRECT ACCORDING TO WORK ORDER.

Install Date: 3/25/2025

Supplier:

Crew: Lisbeth

Description	Unit of Measure	Qty
<p>Gold Siding</p> <p>(IF WOOD REPLACEMENT IS NEEDED, ADDITIONAL COSTS APPLY, SEE BELOW)</p> <ul style="list-style-type: none"> - Complete gutter/downspout removal and dispose of (*gutter estimate separate). - Detach and dispose of gutter screens. - Install new 3/8" fanfold insulation. - Fabricate and install new window and door casings (color: Black). - Install new Norandex Cedar Knolls Select vinyl siding (Carbon / Dutchlap / D5). - Install all mounting blocks (color: Carbon). - Install new vinyl corners (color: Carbon). - Install new vinyl soffit (vent eaves entire) (color: Black). - CUT IN FOR ADDITIONAL INTAKE - Fabricate and install new aluminum fascia (color: Black). - Fabricate and install new aluminum post wraps (color: Black). - Install 2X8" Fascia wood on back of house above the back door to attach awning - Fabricate and install new aluminum fascia wrap around board above (color: black) - Clean up and haul away debris. - 10 year labor guarantee. - Manufacturer's warranty on materials. 		

Slide #3 Scope of Work for the Project

Slide #4

Clear images showing
each elevation/side of
the home



Right Side of the House
#2



Back of the House



Left Side of the House

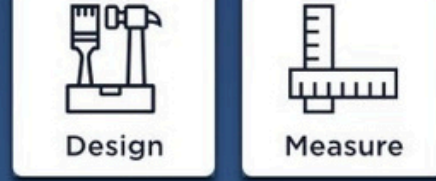


Front of the House



Right Side of the House #1

Slide #5



Rendering for showing the proposed new appearance of the home when the proposed work is completed



THE LOOK OF WOOD, THE VALUE OF VINYL

FEATURES AND BENEFITS



.044" Panel thickness with a natural cedar embossed woodgrain pattern

A 5/8" panel projection provides rigidity and casts deep, appealing shadow lines

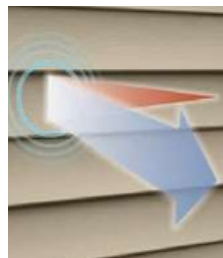


A heavy duty extended return leg snaps tightly into the TitanBar® Reinforced Nail Hem which is double the thickness of the siding panel under the nail head, for an installation that's solid, secure and protects against panel blow off in adverse weather conditions



XLOK TECHNOLOGY **TitanBar** REINFORCED NAIL HEM **NailRIGHT** SIDING INSTALLATION SYSTEM

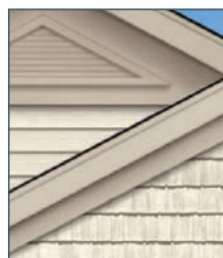
XLok® Technology combines the TitanBar, Reinforced Nail Hem and the NailRIGHT® Siding Installation System, two innovations that help ensure the siding is securely interlocked and properly affixed to the wall



COLORHOLD®
Lifetime Fade Protection

ColorHold is a highly-durable capstock that resists fading and discoloring and is backed by a Limited Lifetime Transferable Warranty* including Lifetime Fade Protection

*Visit www.norandex.com to view warranty details



Matching and contrasting soffit, accessories, shakes and shingles available to give your home a one-of-a-kind look



Make Cedar Knolls Deluxe Vinyl Siding the choice for the life of your home.

- Virtually maintenance free. Save time and money on upkeep costs.
- Because it's solid vinyl, it won't blister, crack, flake, peel or rot like wood exteriors.
- A sound investment that can help increase the resale value of your home.

• THREE DISTINCTIVE PROFILES:

- Double 4" & 5" Clapboard
- Double 5" Dutchlap

Profile & Color Shown: Double 4", Sierra



Slide #6-8

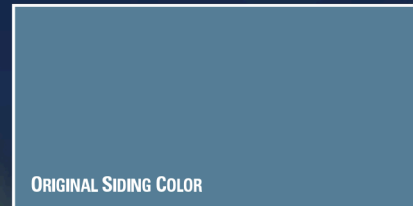
Product information for the proposed new siding and all exterior changes to the home

COLOR AVAILABILITY

Profile & Color Shown: Double 4", Wheat



15 Year COMPARISON OF FADE



This is a visual representation of the actual fade that can be expected on standard vinyl siding vs. Cedar Knolls Deluxe Vinyl Siding. Colors are mechanically reproduced.

DESIGNER COLLECTION

A beautiful collection of darker, richer colors with tremendous curb appeal, providing a real value for homeowners seeking a unique darker finish that stands out and stands apart from others in the neighborhood.

29 BEAUTIFUL COLORS

WHITE	FERN PREMIUM
BEIGE	OLIVE PREMIUM
CREAM	ACADIA GREEN DESIGNER COLLECTION
YELLOW	MYRTLE DESIGNER COLLECTION
CHAMPAGNE	SMOKE PREMIUM
WHEAT	SILVER
SANDSTONE	GRANITE PREMIUM
SIERRA PREMIUM	SEAPORT DESIGNER COLLECTION
MOCHA PREMIUM	JAMESTOWN BLUE DESIGNER COLLECTION
RUSSET DESIGNER COLLECTION	STEEL BLUE DESIGNER COLLECTION
MAVERICK BROWN DESIGNER COLLECTION	GENEVA BLUE PREMIUM
RUSTIC CEDAR DESIGNER COLLECTION	DEEP WATER DESIGNER COLLECTION
FIREBRICK DESIGNER COLLECTION	GRAPHITE DESIGNER COLLECTION
KHAKI PREMIUM	CARBON DESIGNER COLLECTION
CACTUS	

Colors are mechanically reproduced. For color accuracy, please see actual product sample.

SAFE SECURE INSTALLATION

Your professional installation crew takes every possible precaution to make sure your new siding looks and performs its best.

They use the Norandex proprietary NailRIGHT® Siding Installation System to help them locate and precisely nail into the framing studs. This is a very important detail because misapplied nails can cause siding to buckle, blow off in windy

conditions, or be hazardous if they strike wiring or plumbing located between the studs.

NailRIGHT helps ensure an accurate and safe installation. It securely connects the siding to the wall for optimum performance. This means the beautiful siding you select will not only stand out, but will stay up, even in extreme weather conditions.

Beauty and Performance. It's the perfect siding combination to make the exterior of any home...perfect.

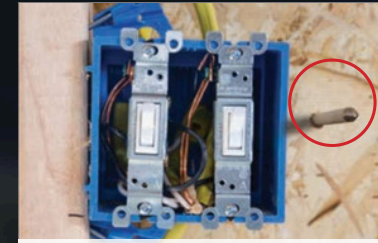
NailRIGHT
SIDING INSTALLATION SYSTEM



THE "X" APPEARS EVERY 8" ON THE NAILING HEM AS A GUIDE TO HELP DETERMINE LOCATION OF HIDDEN WALL STUDS.

Profile & Color Shown: Double 4", White

AVOID:



Hidden Dangers

Nails that miss their mark can be potentially hazardous to items, like wiring and plumbing, located in the cavities between studs.



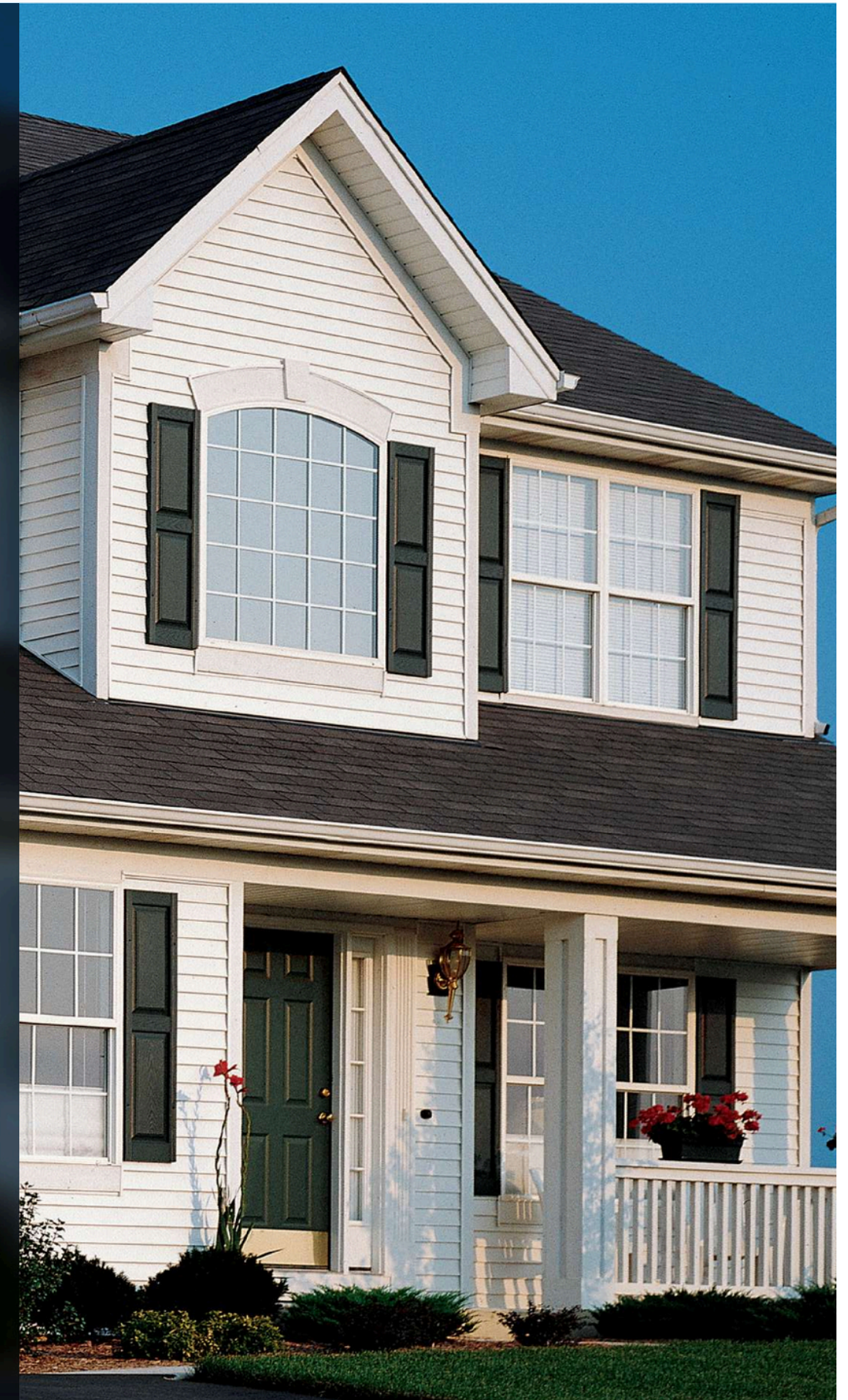
Blow Off

NailRIGHT helps guide the installer to the studs for an installation that's strong, secure and resistant to blow offs.



Unnecessary Nail Usage

NailRIGHT assures the proper amount of nails are used, saving your home from unnecessary hammer hits.





NORANDEX VINYL SIDING IN STOCK

Slide #9 Siding Colors

The Following Colors in Woodsman Select Panels Available Today!

NORANDEX
Woodsman Select
PREMIUM VINYL SIDING

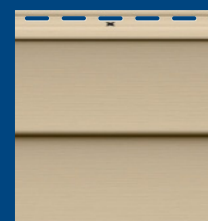


Double 4" Capboard
.042" Panel Thickness
2-4" exposure per panel
12' 6" long
24 pcs. per ctn.
2 squares per ctn.

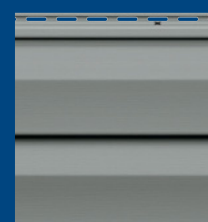


Double 4" D
.042" Panel Thickness
2-4" exposure per panel
12' 6" long
24 pcs. per ctn.
2 squares per ctn.

NORANDEX
Cedar Knolls
DELUXE VINYL SIDING

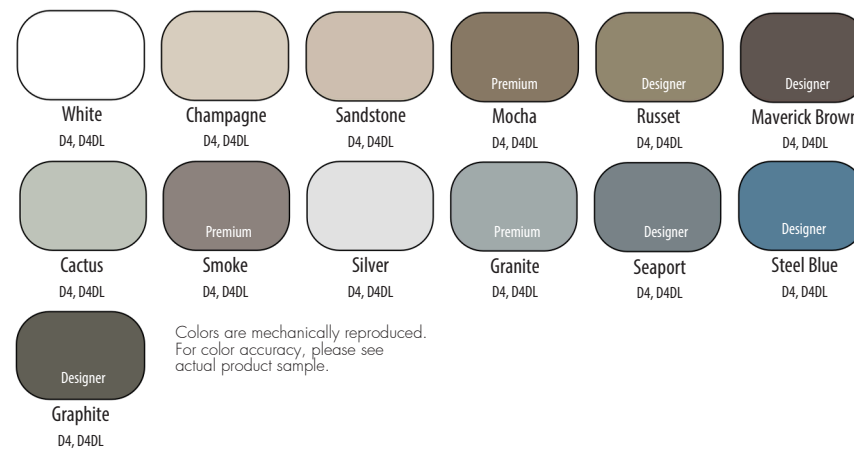


Double 5" Capboard
.044" Panel Thickness
2-5" exposure per panel
12' long
20 pcs. per ctn.
2 squares per ctn.



Double 5" D
.044" Panel Thickness
2-5" exposure per panel
12' long
20 pcs. per ctn.
2 squares per ctn.

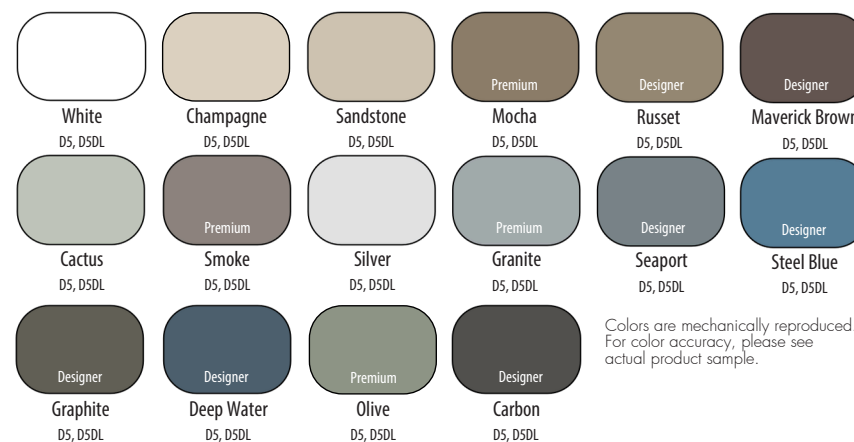
13 POPULAR STOCKING COLORS



Colors are mechanically reproduced.
For color accuracy, please see actual product sample.

The Following Colors in Cedar Knolls Panels Available Today!

16 POPULAR STOCKING COLORS



Colors are mechanically reproduced.
For color accuracy, please see actual product sample.

For nonstock colors and profiles, please contact your ABC Supply Sales Representative

Case 25-022

Certificate of Appropriateness
St. Theodosius Orthodox Church

St. Theodosius Orthodox Cathedral 733 Starkweather Avenue

Roof Restoration

Project Representatives: David Hogue, Bostwick Design Partnership;
Michael Ritenour, Ritenour Group; Fr. Jan Cizmar, St. Theodosius Orthodox
Cathedral

Ward 3: Councilmember McCormack





St Theodosius Orthodox Cathedral Restoration

733 Starkweather Ave
Cleveland, OH 44113

Cleveland Landmarks Commission

April 10, 2025



ST. THEODOSIUS
ORTHODOX CATHEDRAL
CLEVELAND, OHIO



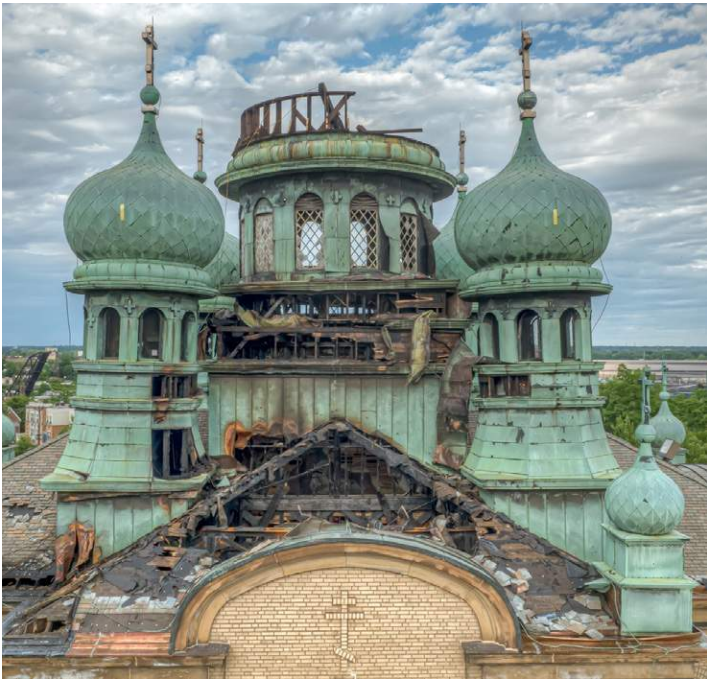
WR Restoration

Bostwick
Design
Partnership



PROJECT DESCRIPTION

The restoration of St. Theodosius Orthodox Christian Cathedral, situated at 733 Starkweather Avenue in Cleveland's Tremont neighborhood, will focus on repairing damage to the church's roof structure, copper domes, stained glass windows, interior finishes, HVAC systems, lighting, and artwork. This damage was caused by a fire on May 28, 2024, as well as the associated extinguishing efforts. This church is on the registry of Historical Landmarks and must be restored to its original beauty and architecture.



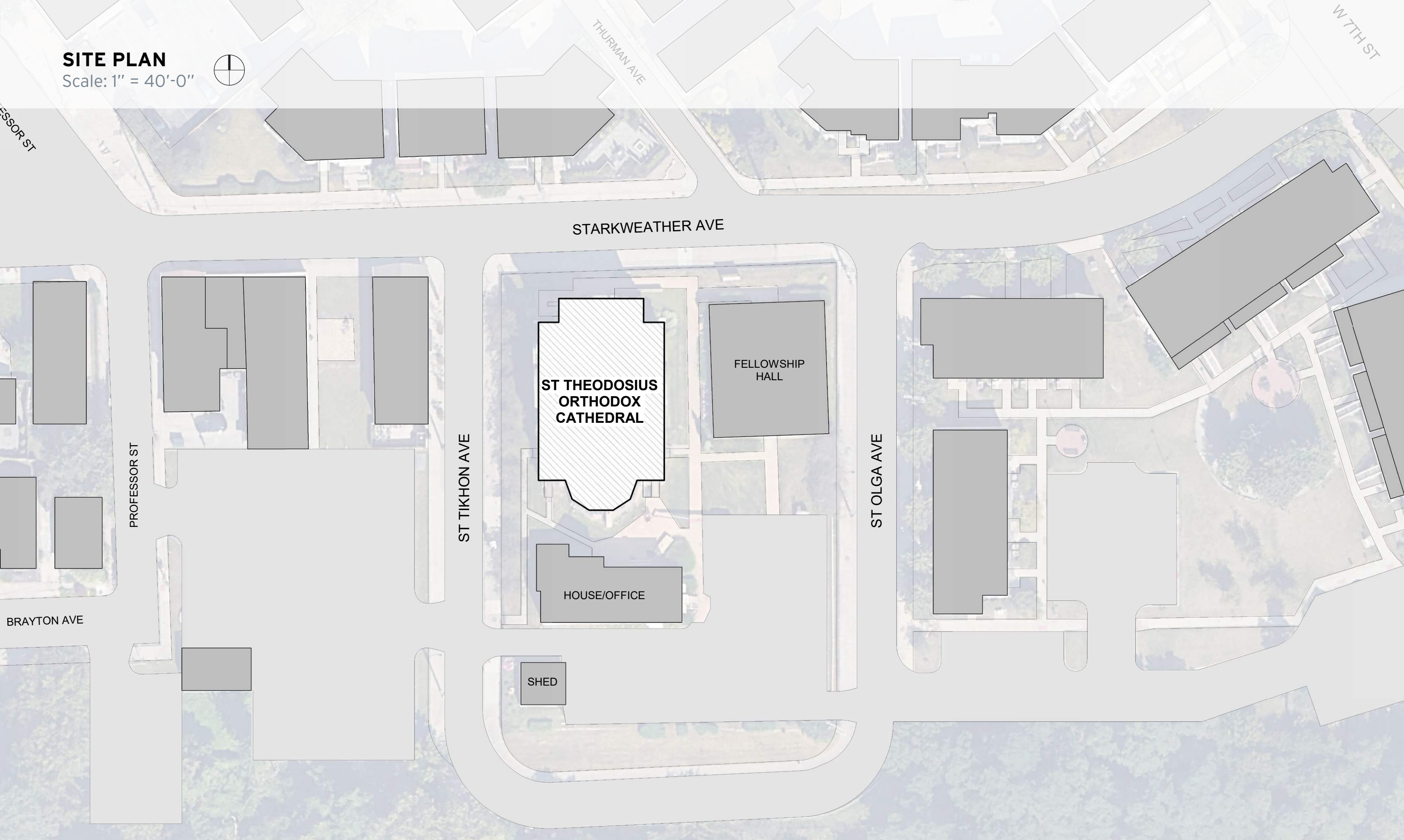
SOURCE: DRONE OHIO



SOURCE: WKYC

SITE PLAN

Scale: 1" = 40'-0"



**ST THEODOSIUS
ORTHODOX
CATHEDRAL**

FELLOWSHIP
HALL

HOUSE/OFFICE

SHED

STARKWEATHER AVE

THURMAN AVE

W 7TH ST

PROFESSOR ST

ST TIKHON AVE

ST OLGA AVE

BRAYTON AVE

CURRENT CONDITIONS



1 | VIEW OF NORTH ENTRANCE



2 | VIEW OF NORTHWEST CORNER



3 | VIEW OF WEST FACADE



4 | VIEW OF SOUTHWEST CORNER



5 | VIEW OF SOUTHEAST CORNER



6 | VIEW OF REMAINING DOMES

BEFORE/AFTER - AERIAL VIEW



1 | BEFORE FIRE

SOURCE: ORTHODOX 360



2 | RESTORATION

BEFORE/AFTER - STREET PERSPECTIVE



1 | BEFORE FIRE

SOURCE: RICHARD W. BURRY

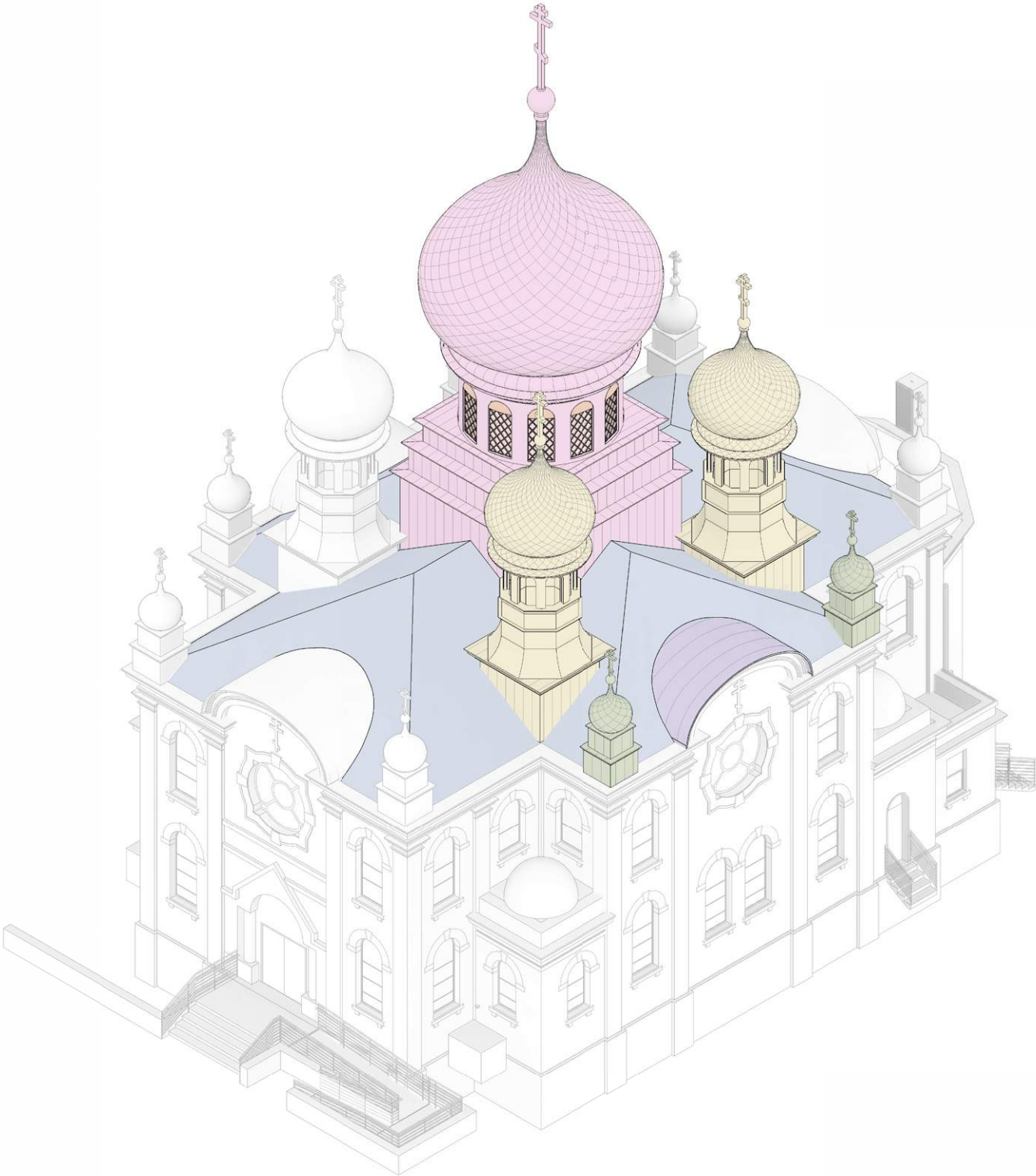
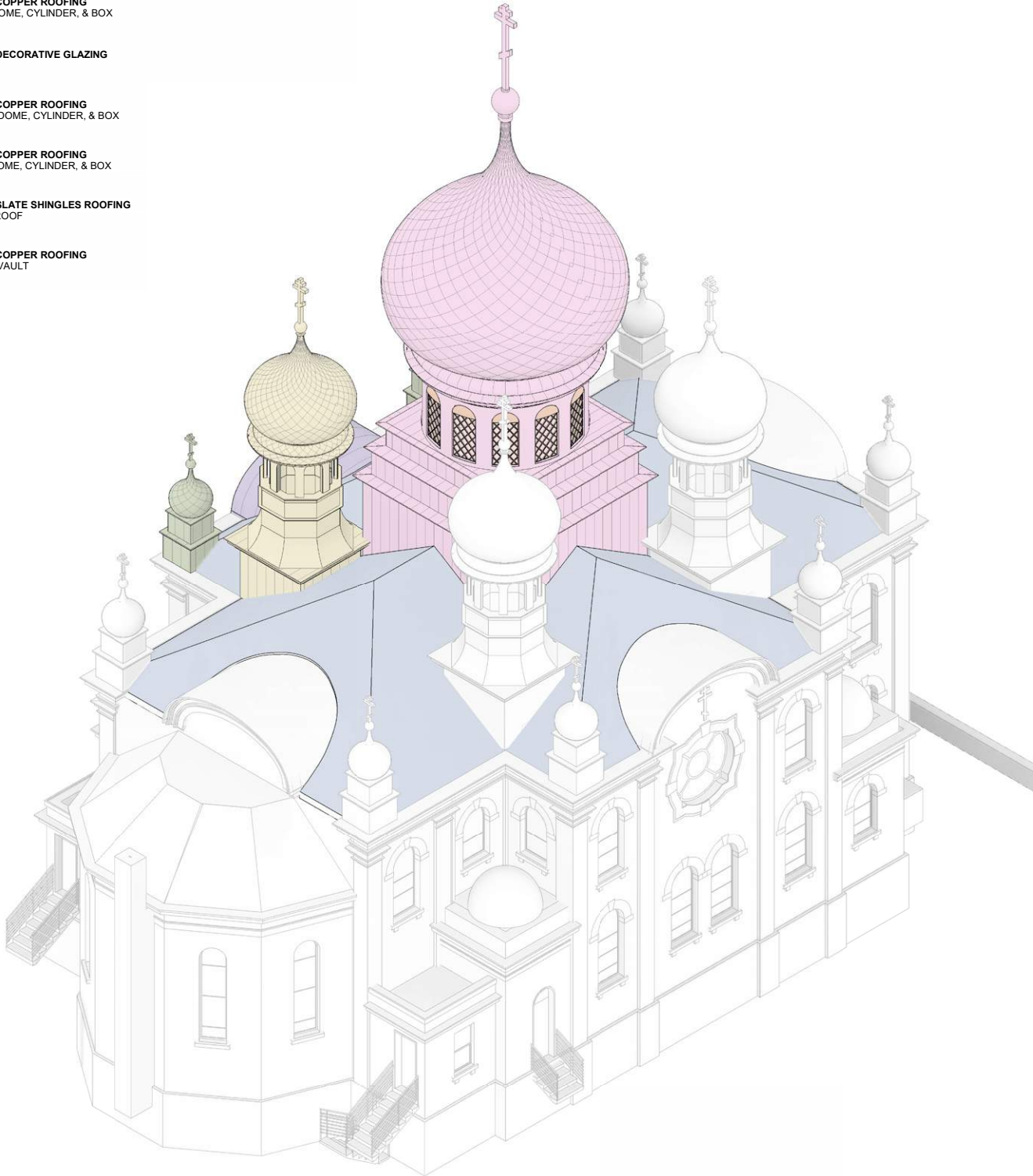


2 | RESTORATION

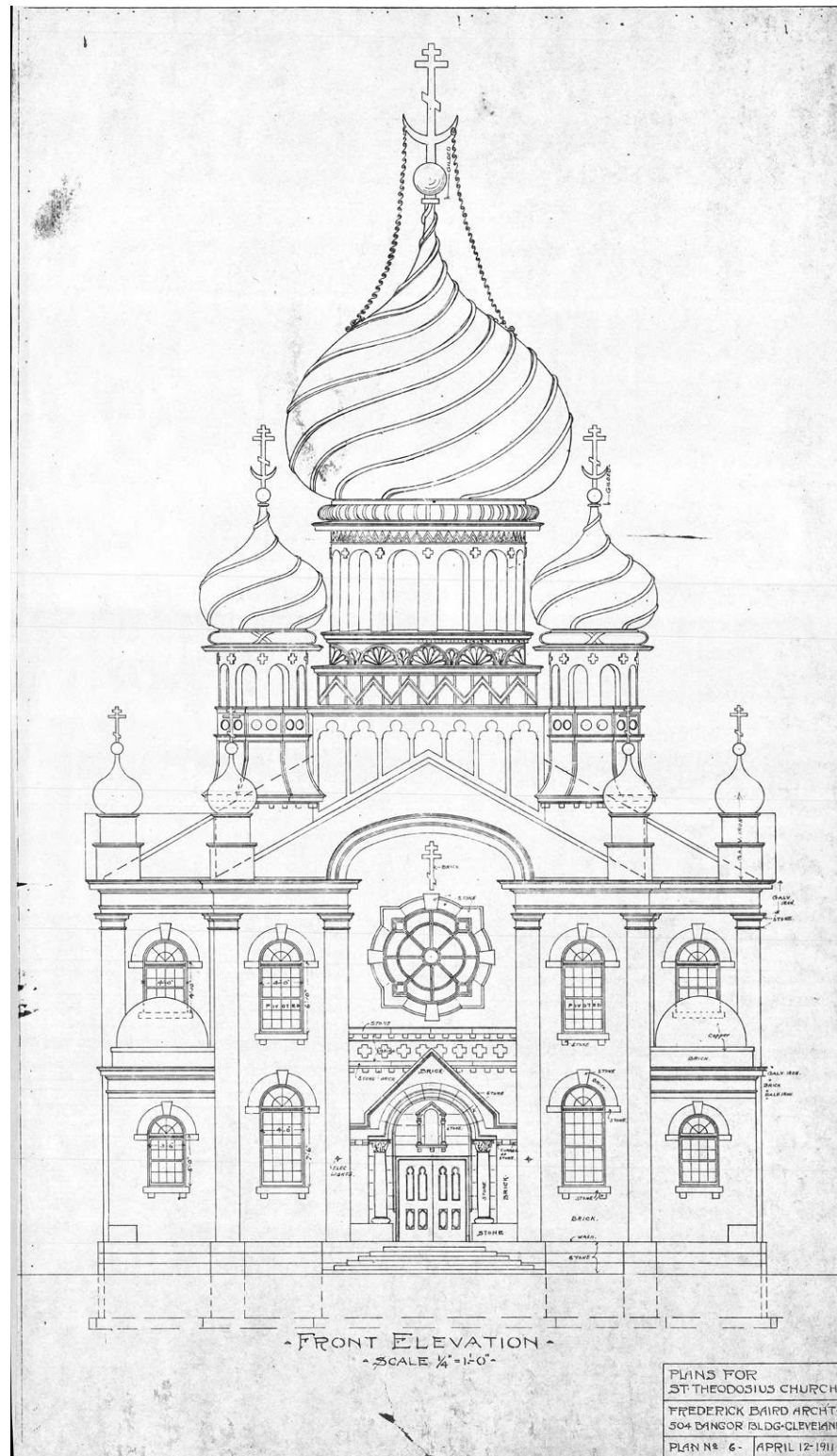
AXONOMETRIC VIEWS

LEGEND

- 07 61 00 COPPER ROOFING
LARGE DOME, CYLINDER, & BOX
- 08 81 13 DECORATIVE GLAZING
WINDOW
- 07 61 00 COPPER ROOFING
MEDIUM DOME, CYLINDER, & BOX
- 07 61 00 COPPER ROOFING
SMALL DOME, CYLINDER, & BOX
- 07 31 26 SLATE SHINGLES ROOFING
HIPPED ROOF
- 07 61 00 COPPER ROOFING
BARREL VAULT



ORIGINAL DRAWINGS

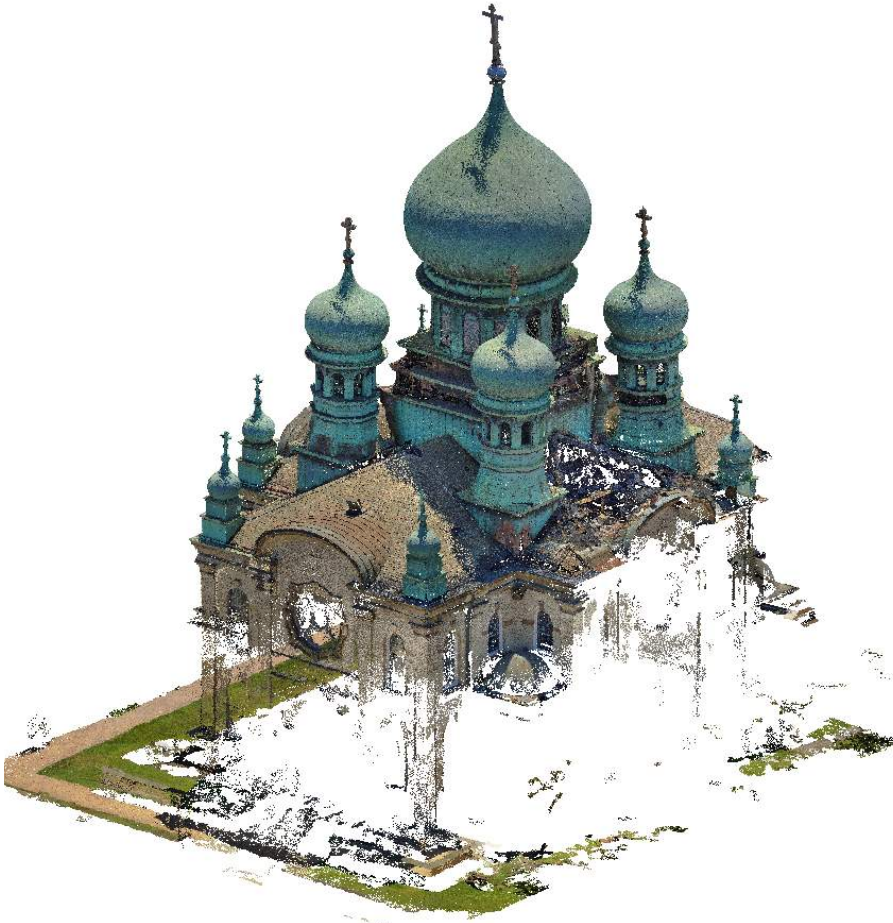


1 | NORTH ELEVATION

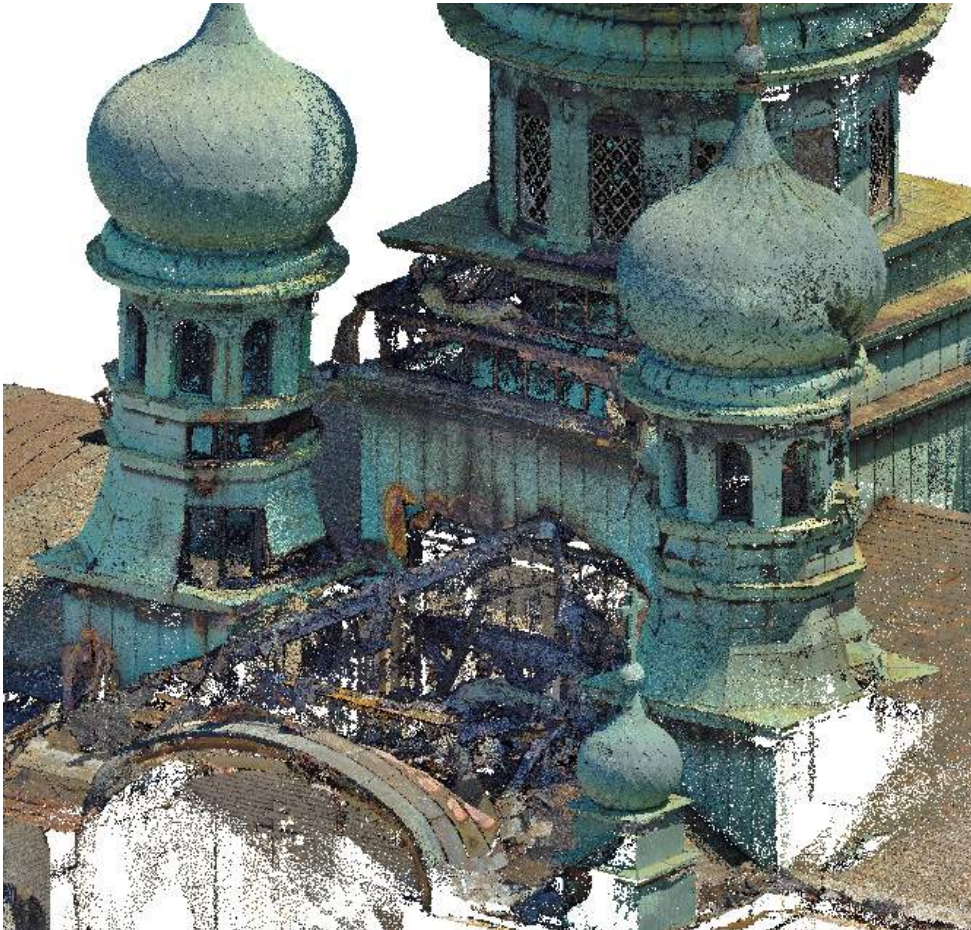


2 | LONGITUDINAL SECTION

PHOTOGRAPHIC SCANNING ASSESSMENT



1 | VIEW FROM NORTHWEST

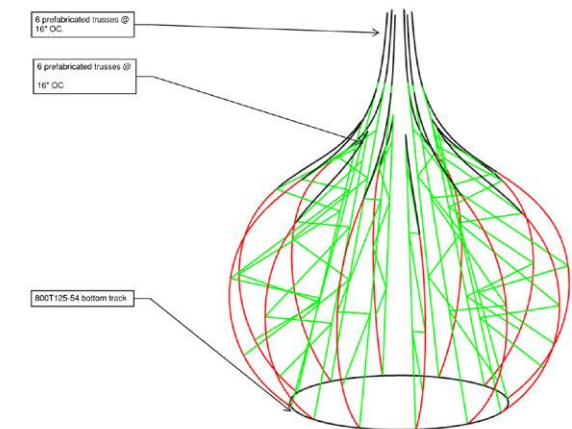
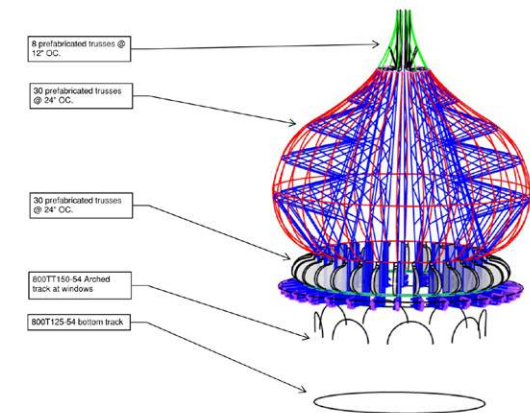
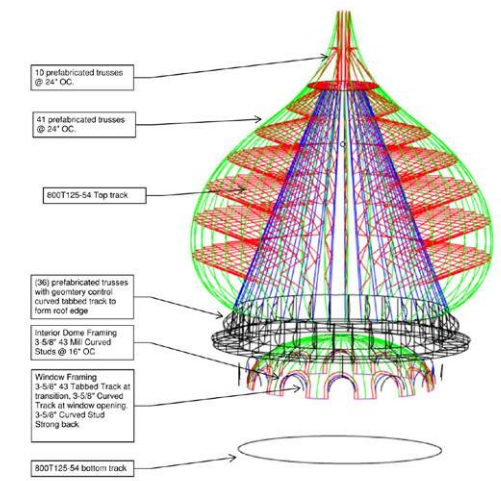
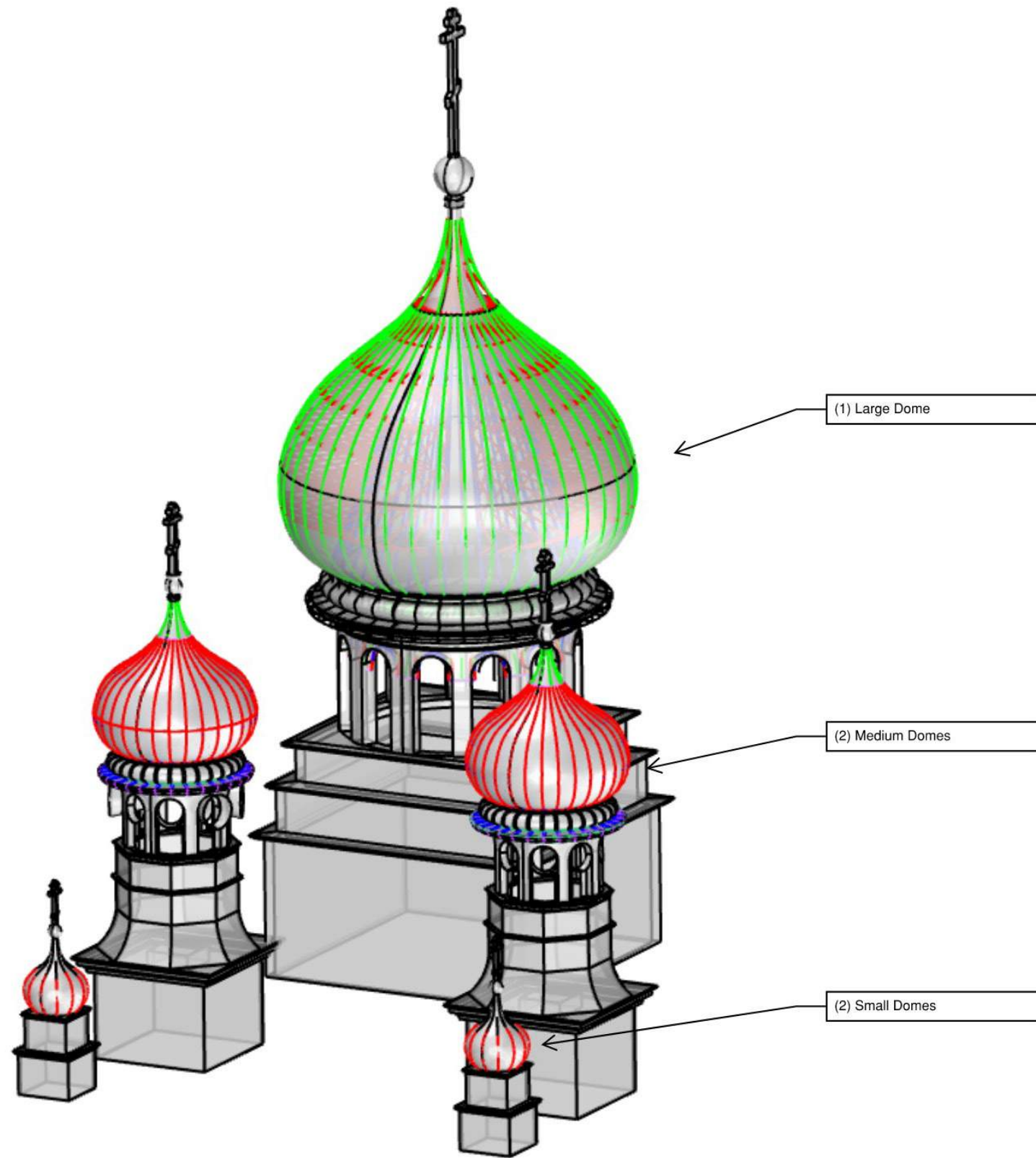


2 | VIEW FROM SOUTHWEST

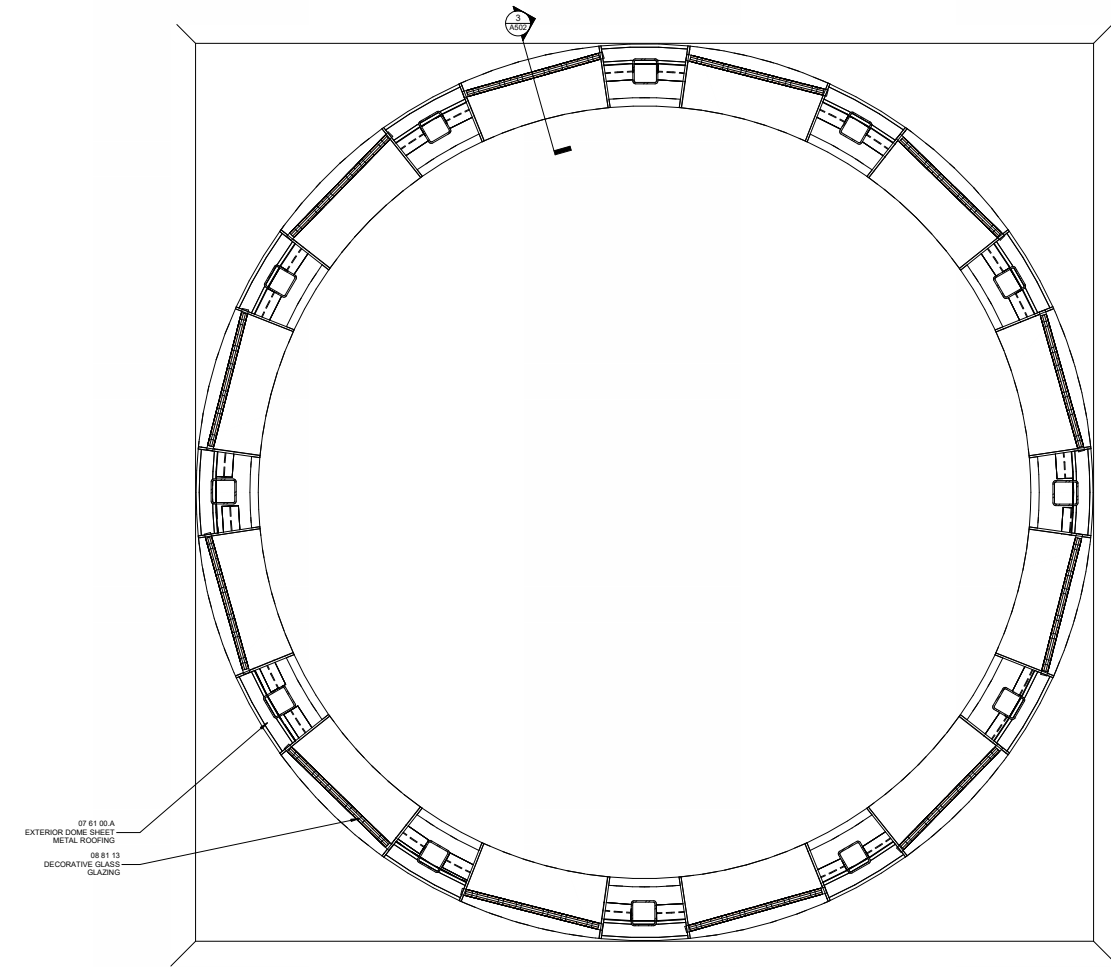
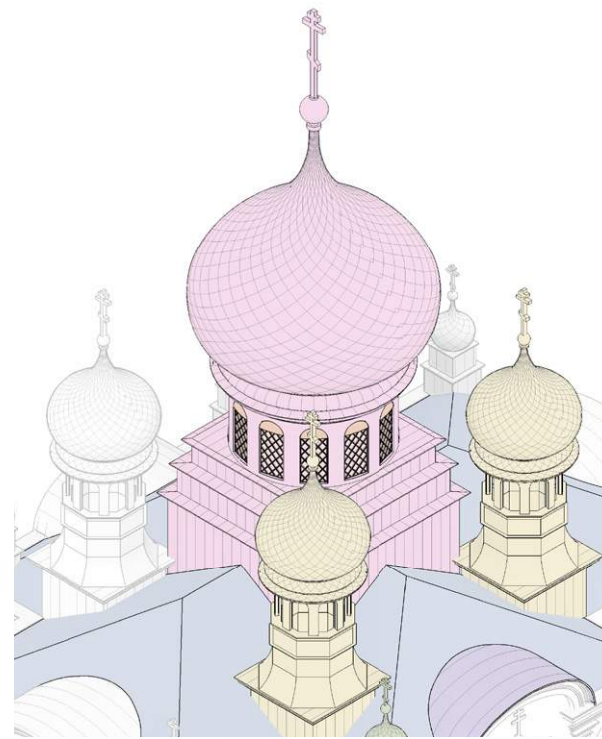


3 | VIEW FROM WEST

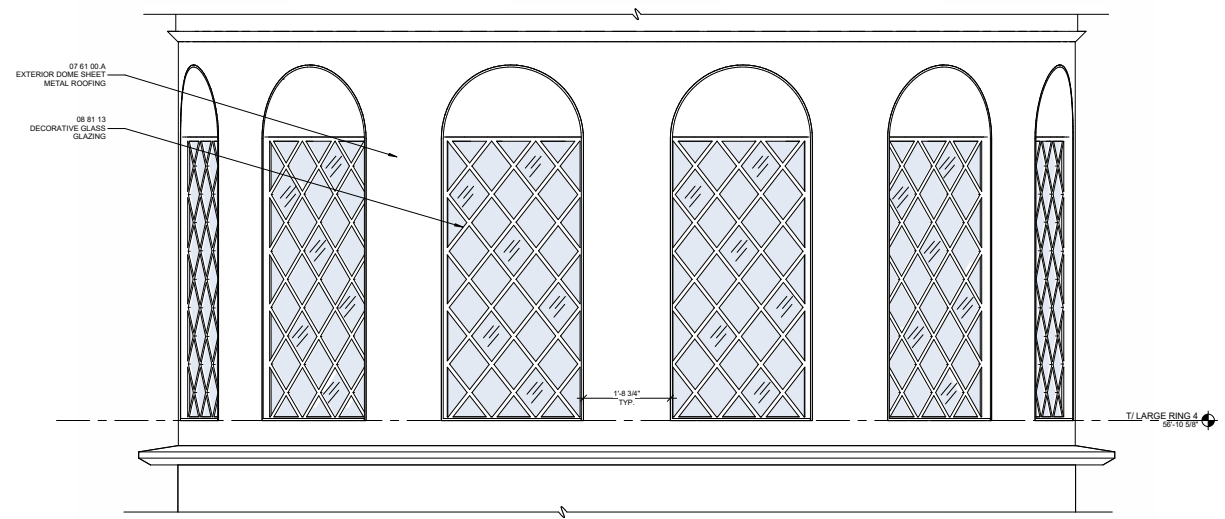
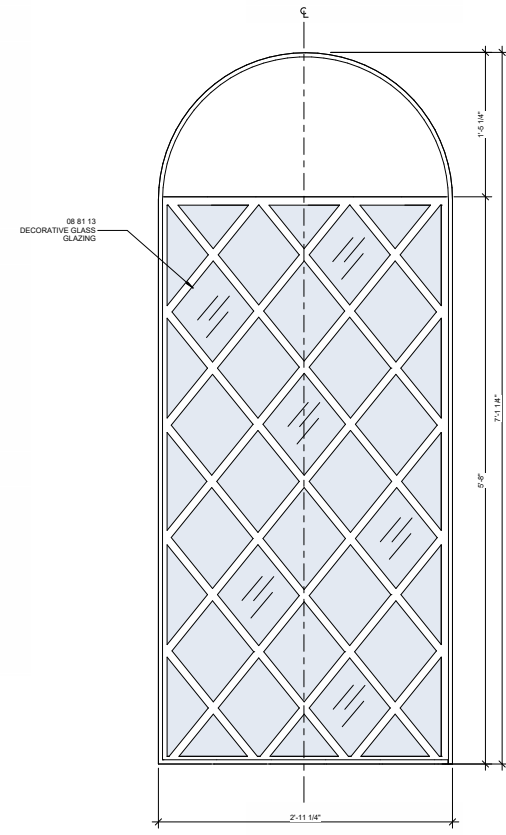
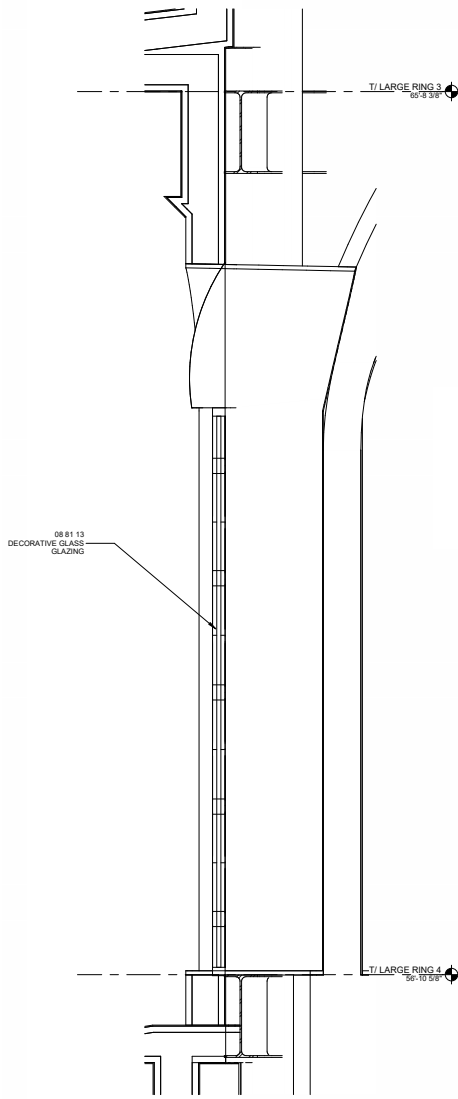
DOME FRAMING ANALYSIS



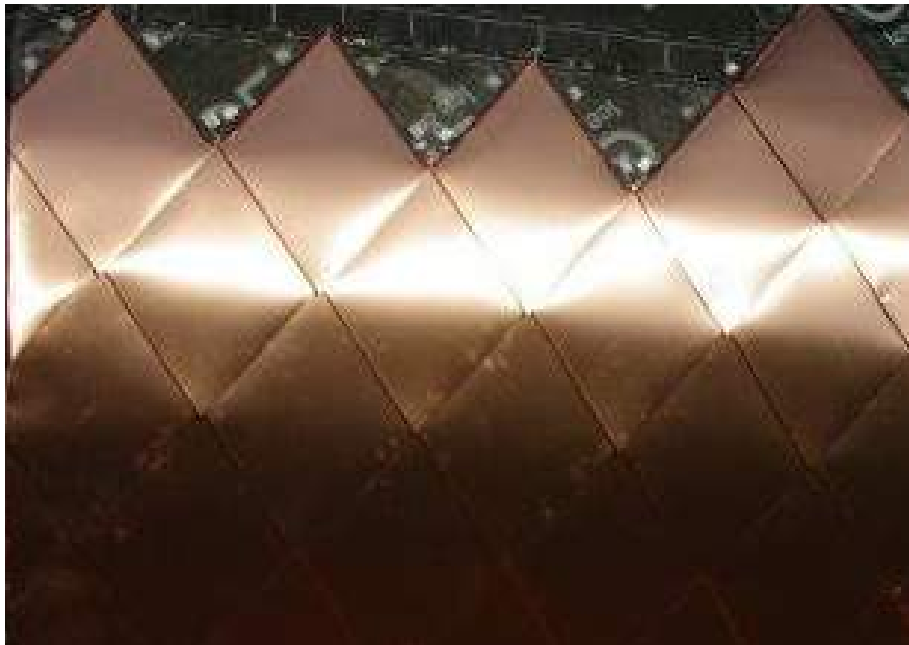
LARGE DOME - WINDOW GEOMETRY



4 LARGE DOME - ENLARGED PLAN
3/4" = 1'-0"



EXTERIOR MATERIALS



1 | COPPER SHEET METAL ROOFING

Custom-Fabricated, Shop- or Field-Brake-Formed, Sheet Metal Roofing
20 oz. Copper Shingles (for Domes)
Slip / Separator Fibrous Vent Sheet
High-Temperature Resistant Vapor Barrier Sheet Membrane or
Fluid-Applied Vapor Barrier Membrane
Plywood Sheathing Base



2 | NATURAL SLATE SHINGLES

Natural-Slate, Semi-Weathering, Gray Vermont Roof Shingles
Ice and Water Shield Membrane Along Roof Valleys
Vapor Permeable Membrane for Remainder of Roof
Plywood Sheathing Base
Flashing and Accessories



3 | DECORATIVE WINDOW GLAZING

Decorative window glazing with framing and muntins to match existing



BOSTWICKDESIGN.com | Cleveland OH Erie PA Miami FL Pittsburgh PA

Case 25-023

Certificate of Appropriateness

Market Square Historic District

2061 Gehring Avenue

Renovation

Project Representatives: Steve Jennings, LDA Architects; Tom Gillespie, GETCO Environmental

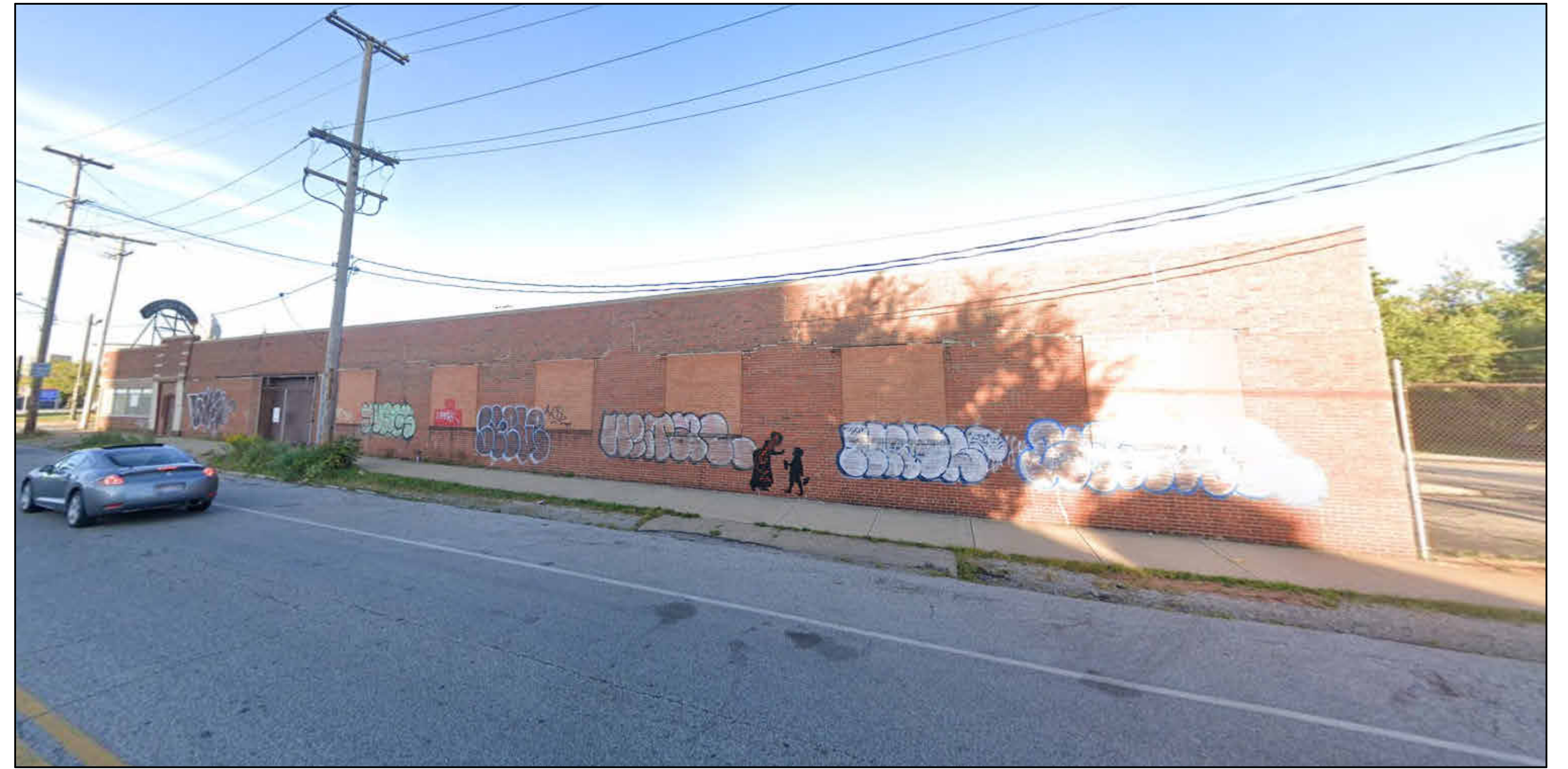
Ward 3: Councilman McCormack



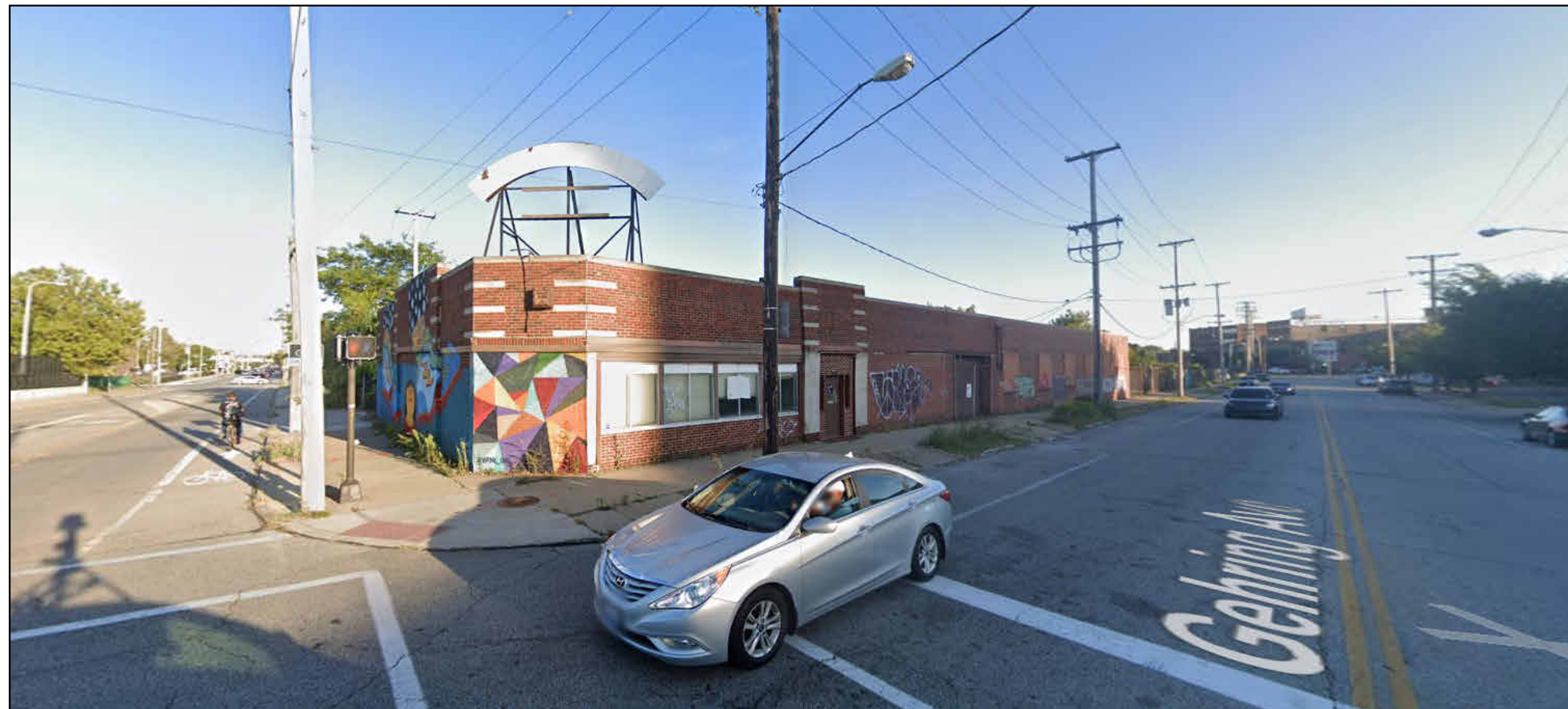




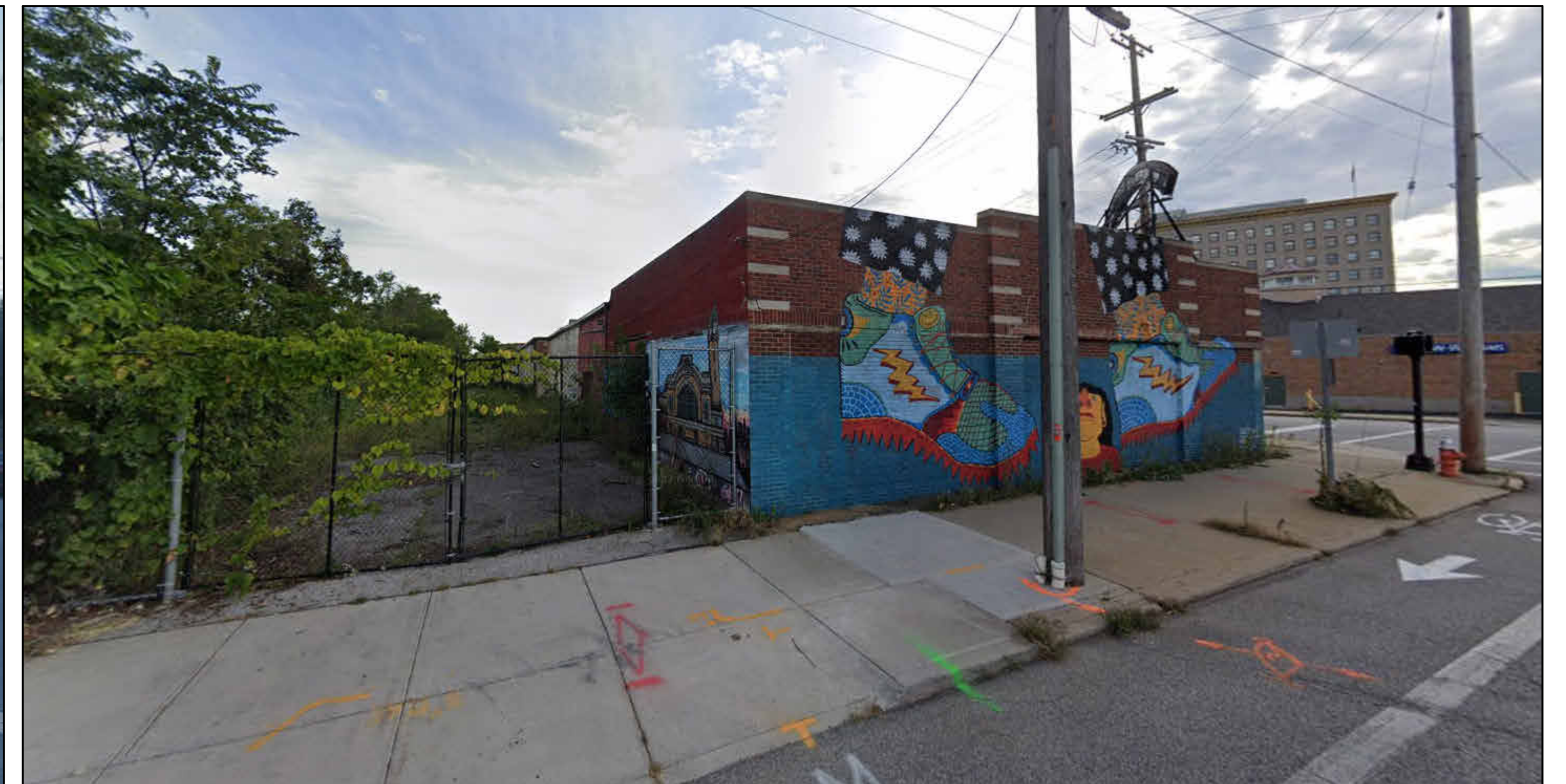
SOUTH VIEW OF SITE



WEST FACING VIEW



NORTH WEST CORNER



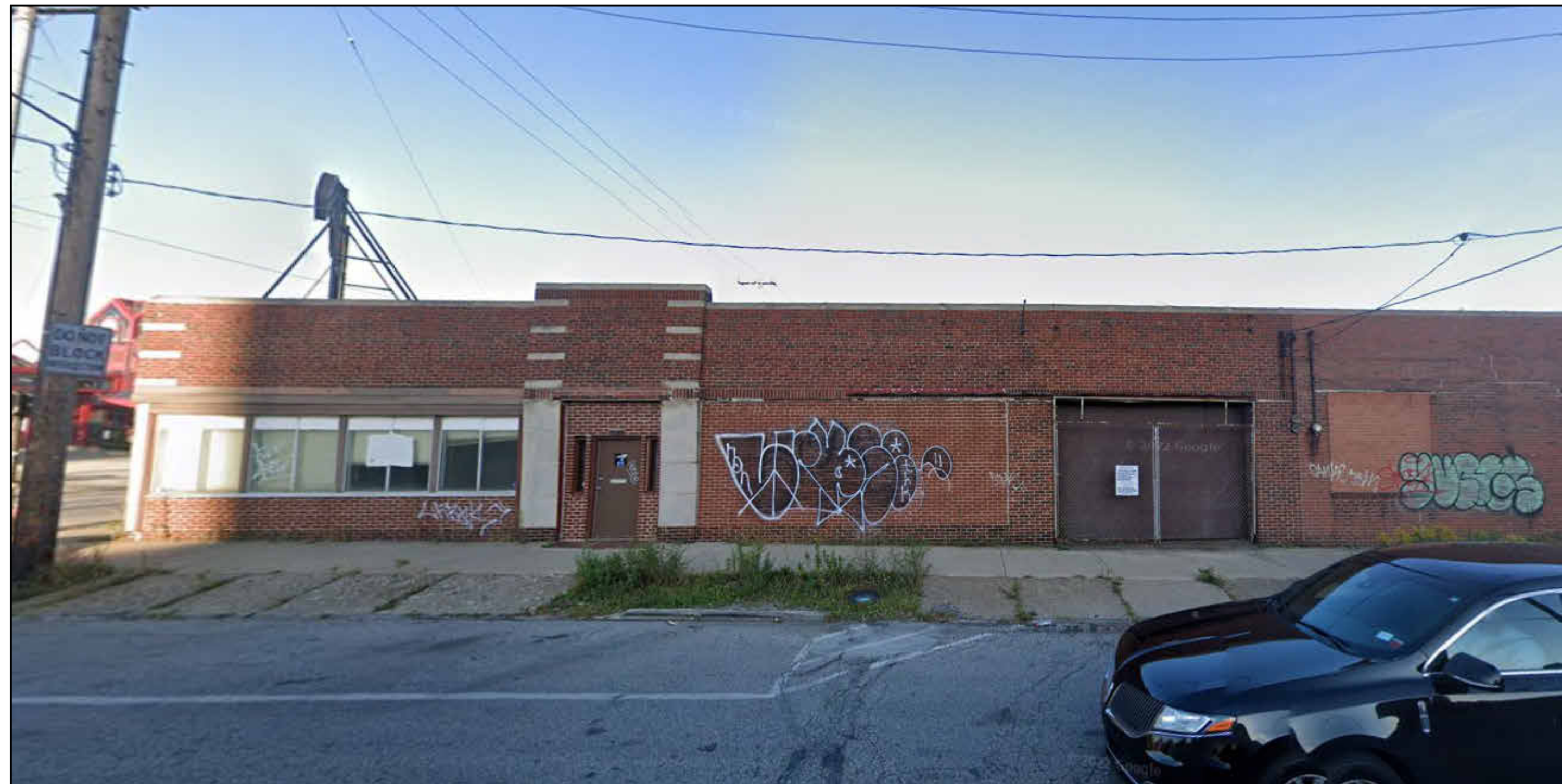
NORTH EAST CORNER



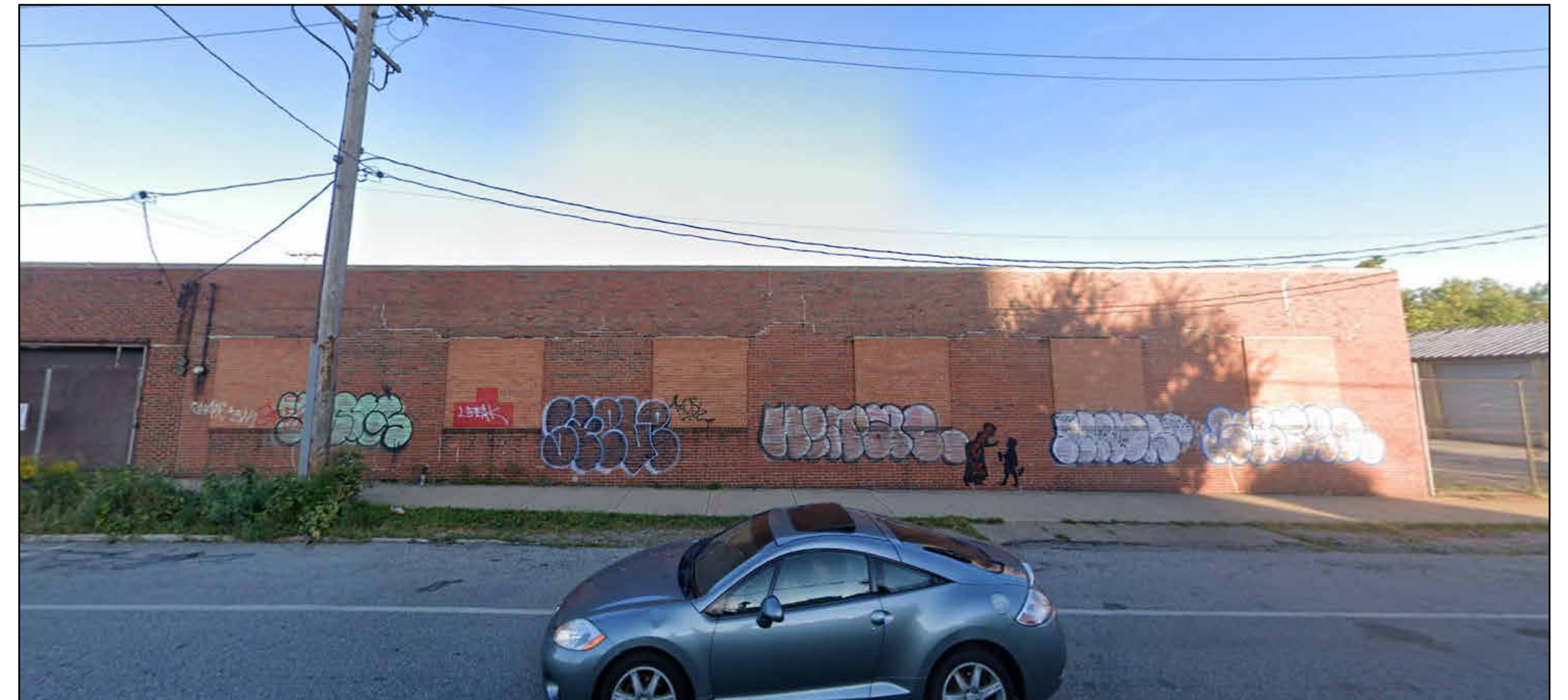
NORTH FACADE



SOUTH WEST CORNER VIEW



WEST FACADE - 1



WEST FACADE - 2



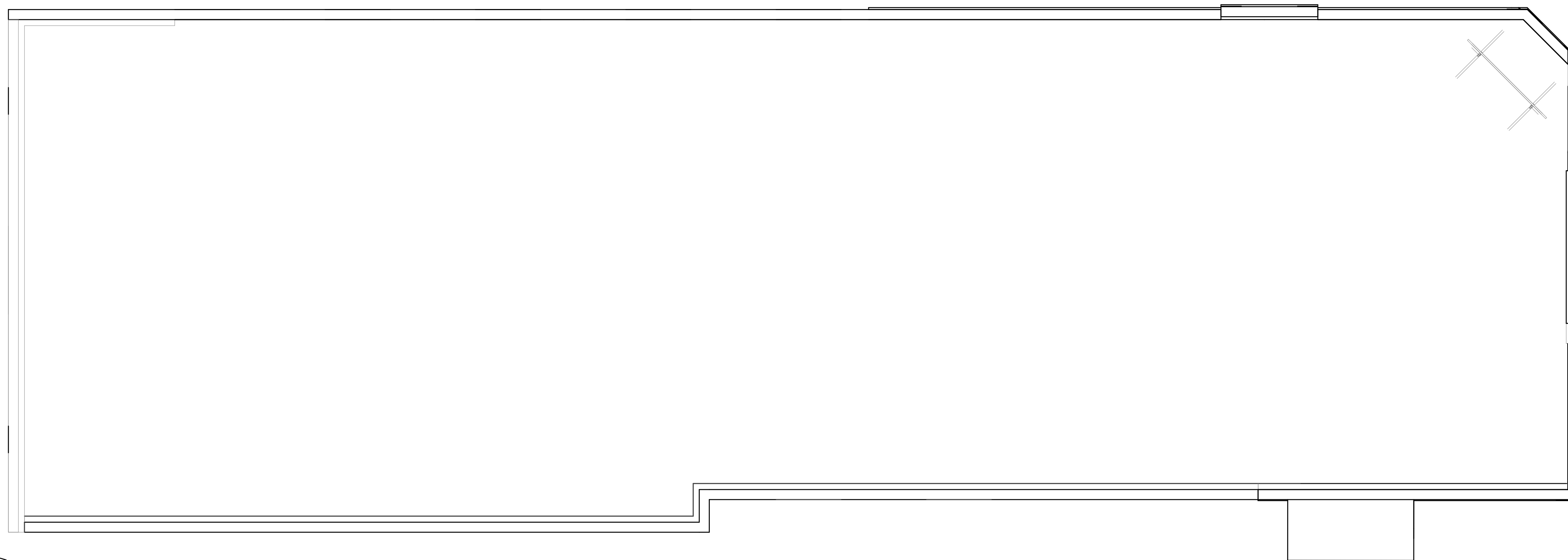
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	02.29.2024	ISSUED FOR SHPO
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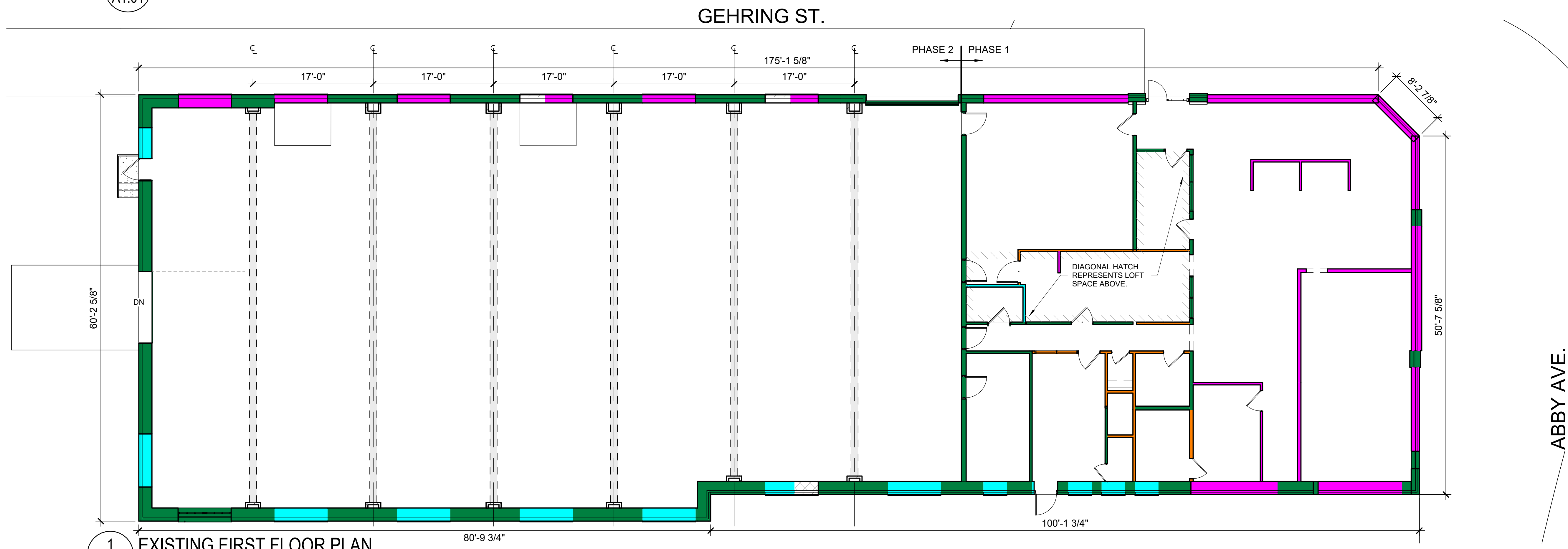
NOTE: TENANT IMPROVEMENTS BY OTHER.

HISTORIC COLOR KEY LEGEND

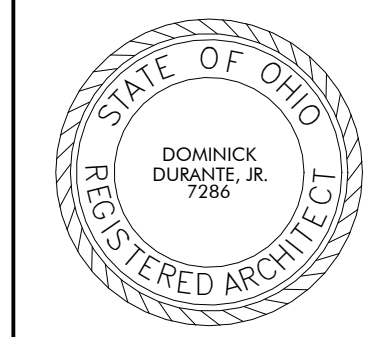
- HISTORIC TO REMAIN
- HISTORIC TO REMOVE
- NON-HISTORIC TO REMAIN
- NON-HISTORIC TO REMOVE



2 ROOF LINE
 A1.01 SCALE: 1/8" = 1'-0"



1 EXISTING FIRST FLOOR PLAN
 A1.01 SCALE: 1/8" = 1'-0"



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 EXPIRATION 12/31/2023

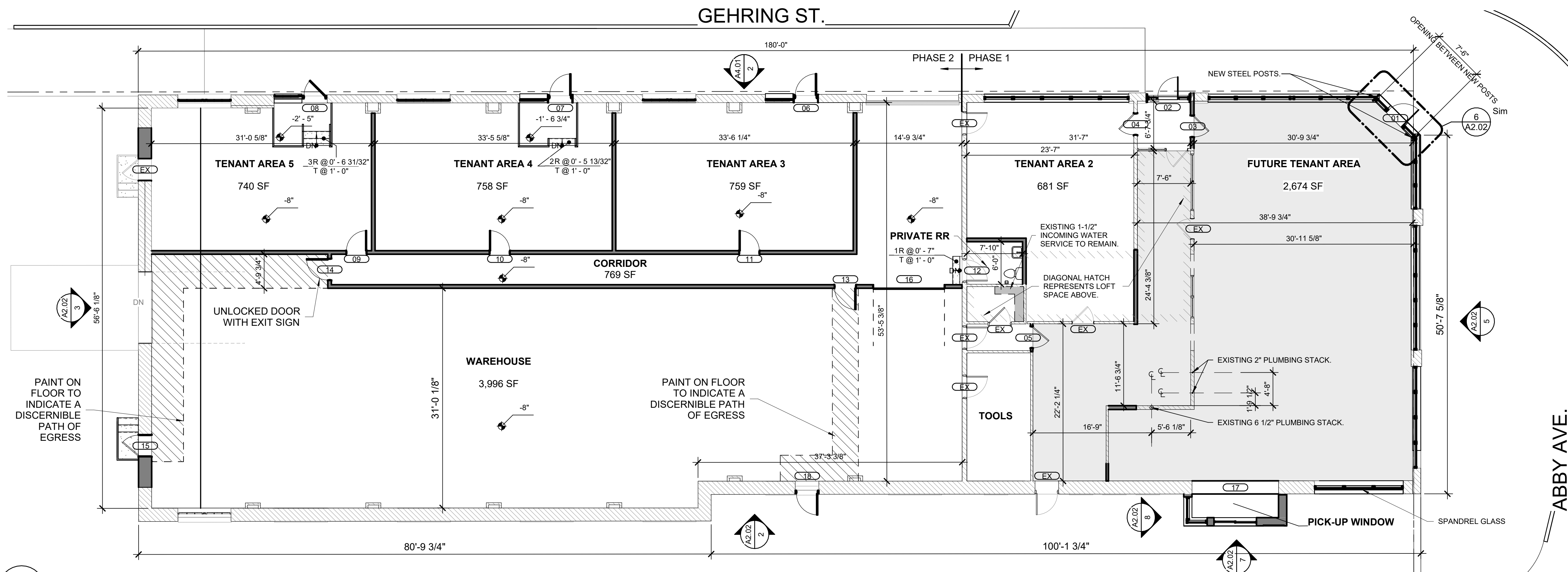
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STARBUCKS CAFE

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 LDA Project No.2304

FLOOR PLANS
A1.01



1 PROPOSED FIRST FLOOR PLAN
A1.02 SCALE: 1/8" = 1'-0"



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REV	DATE	DESCRIPTION

GENERAL NOTES - FLOOR PLANS

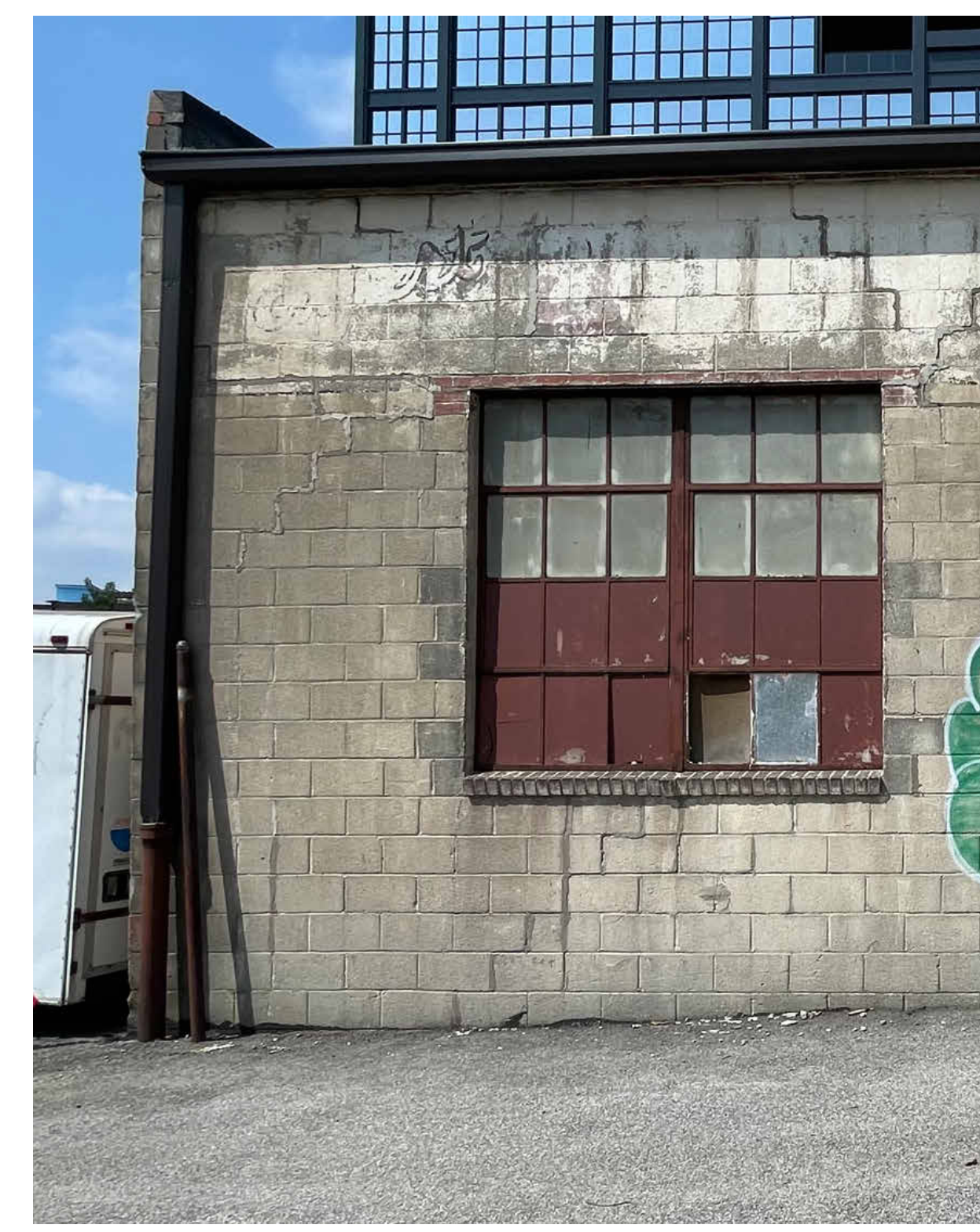
- CONTRACTOR TO VERIFY EXISTING BEARING CONDITION AND MAINTAIN EXISTING SUPPORT.
- ALIGN NEW WALLS WITH EXISTING. PATCH TO CREATE A SMOOTH, SEAMLESS SURFACE.
- REPAIR WALLS WHERE INSTALLATION OF OUTLETS OR OTHER DAMAGE OCCURS DUE TO NEW WORK.
- DIMENSIONS FOR THE INTERIOR CONSTRUCTION ARE TO THE FACE OF FINISH. FIELD VERIFY ALL DIMENSIONS.
- BRACE AND SUPPORT EXISTING WORK PRIOR TO AND DURING DEMOLITION AND NEW CONSTRUCTION UNTIL SAFE TO REMOVE SUCH BRACING AND SUPPORTS.
- PIPES, CONDUIT, AND DUCTWORK ENCOUNTERED IN DEMOLISHED WALLS AND CEILINGS WHICH ARE TO REMAIN SHALL BE RE-ROUTED AND CONCEALED. THOSE WHICH ARE ABANDONED SHALL BE CAPPED AND CONCEALED IN THE WALLS OR CEILING.
- REPAIR ALL DAMAGE TO EXISTING CONSTRUCTION CAUSED BY DEMOLITION. REPAIR TO MATCH ADJACENT CONSTRUCTION.
- CLEAN AND PREPARE ALL SURFACES TO ACCEPT NEW WORK. THIS INCLUDES PATCHING AND REPAIRING ALL PENETRATIONS FROM REMOVED DUCTWORK, VENTS, DOOR FRAMES, ETC. ALL PATCHING AND NEW DRYWALL TO BE FLUSH AND MATCH EXISTING.
- REMOVE WALLS WHERE INDICATED TO BE DEMOLISHED. WHERE NEW OPENINGS ARE CALLED OUT COORDINATE WITH LINTEL SCHEDULE PER STRUCTURAL DRAWINGS.
- EACH TENANT SPACE TO BE SERVICED INDIVIDUALLY FOR ELECTRIC. HVAC MINI-SPLIT WITH ROOF CONDENSER FOR EACH.
- SEE SHEET G0.02 FOR DOOR SCHEDULE.

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FLOOR PLANS
A1.02





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MASONRY CLEANING:

EXISTING PAINT SHALL BE REMOVED FROM BRICK AND MASONRY TO BE GENTLY CLEANED WITHOUT DAMAGING THE SURFACE OF THE MASONRY. CLEANING OF THE MASONRY SHALL CONSIST OF A MILD NON-IONIC DETERGENT USED WITH A NATURAL OR SYNTHETIC BRISTLE BRUSH AND WATER WITH THE PRESSURE SET NO HIGHER THAN 300 PSI.

MASONRY RESTORATION:

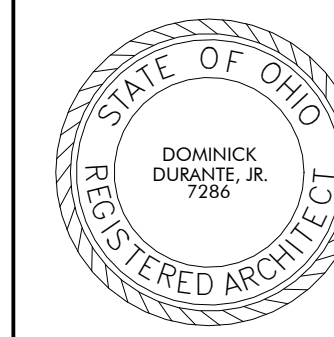
BRICK TO BE TUCKPOINTED WHERE MORTAR IS MISSING OR DETERIORATED

PROPOSED PROCEDURE FOR TUCKPOINTING: ONLY OPEN AND DETERIORATED JOINTS WILL BE REPOINTED. DETERIORATED MORTAR AND UNSOUND MATERIALS WILL BE CAREFULLY REMOVED WITHOUT DAMAGING THE MASONRY ITSELF OR SURROUNDING SOUND MATERIALS. THE CENTER OF THE HORIZONTAL JOINTS WILL BE GROUND BACK 2-2.5 TIMES THE WIDTH OF THE JOINT. THE REMAINING MORTAR ABOVE AND BELOW THE CUT WILL BE HAND OR PNEUMATICALLY CHISELED OUT OF THE JOINT TO EXPOSE THE SURFACE OF THE BRICKS. VERTICAL JOINTS WILL BE HAND OR PNEUMATICALLY CHISELED OUT TO A DEPTH OF 2-2.5 TIMES THE WIDTH OF THE JOINT. JOINT SURFACES WILL BE RINSED TO REMOVE DUST AND MORTAR PARTICLES. REPOINTING MORTAR WILL MATCH THE COLOR, TEXTURE, COMPRESSIVE STRENGTH, JOINT WIDTH AND JOINT PROFILE OF THE EXISTING HISTORIC MASONRY.

TUCKPOINT & REPLACE MISMATCHED GROUT

NEW JOINTS TO MATCH EXISTING MORTAR JOINT STYLE.

REMOVE ANY FERROUS ELEMENTS IN BRICK AND STONE.



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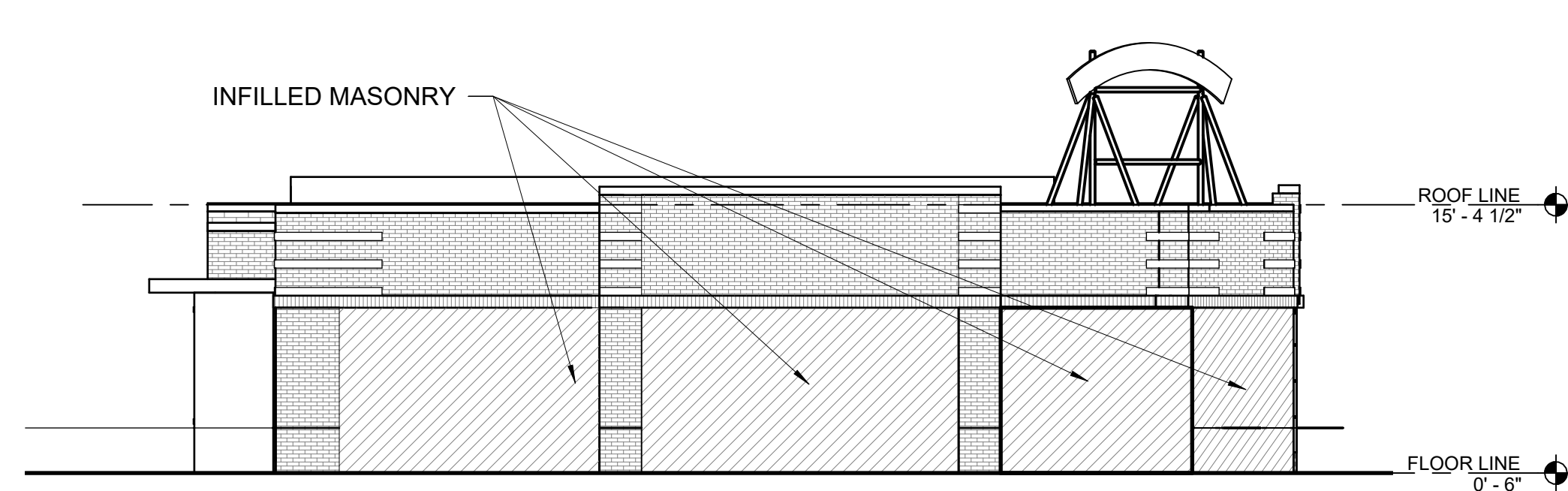
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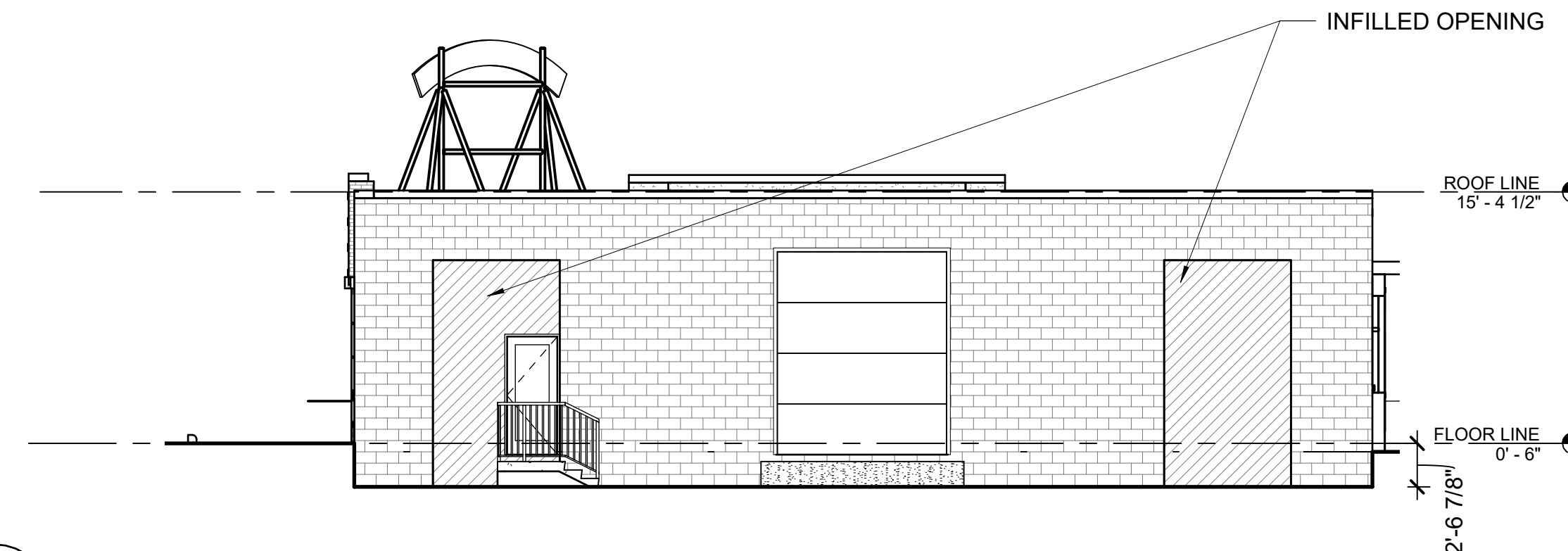
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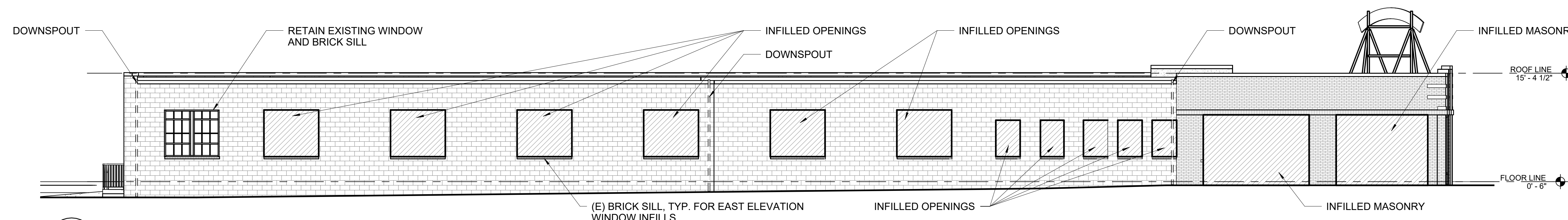
**EXISTING EXTERIOR ELEVATIONS
A2.01**



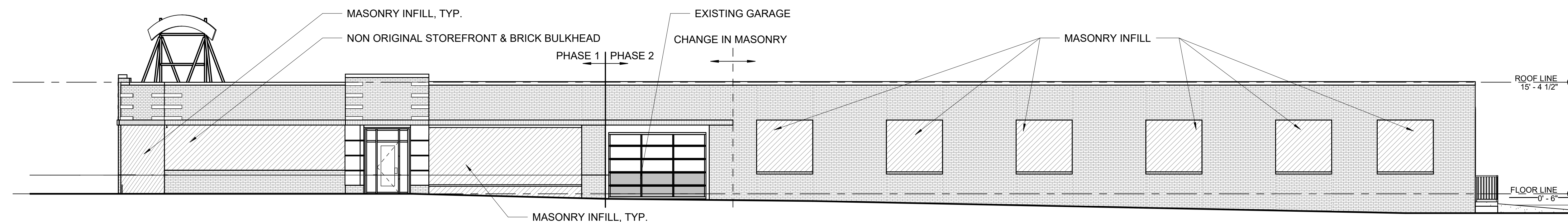
4 EXISTING NORTH ELEVATION
A2.01 SCALE: 1/8" = 1'-0"



3 EXISTING SOUTH ELEVATION
A2.01 SCALE: 1/8" = 1'-0"

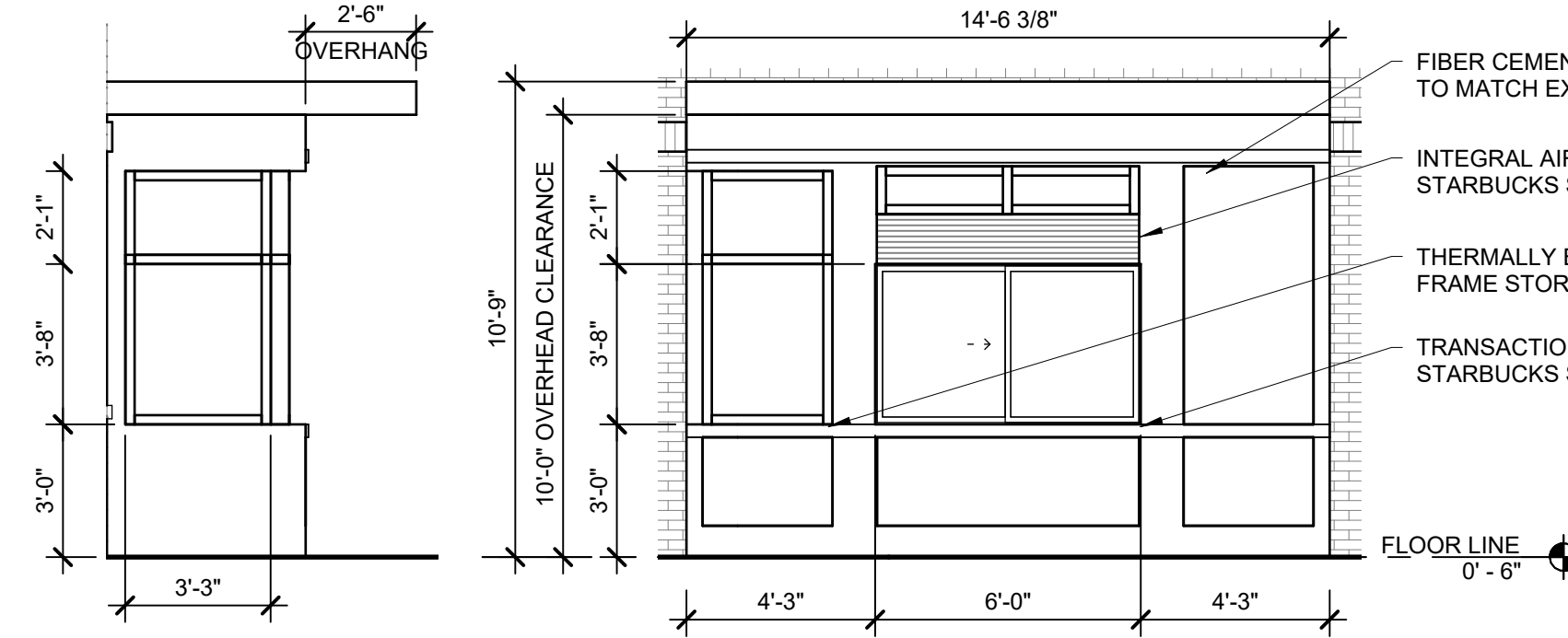


2 EXISTING EAST ELEVATION
A2.01 SCALE: 1/8" = 1'-0"

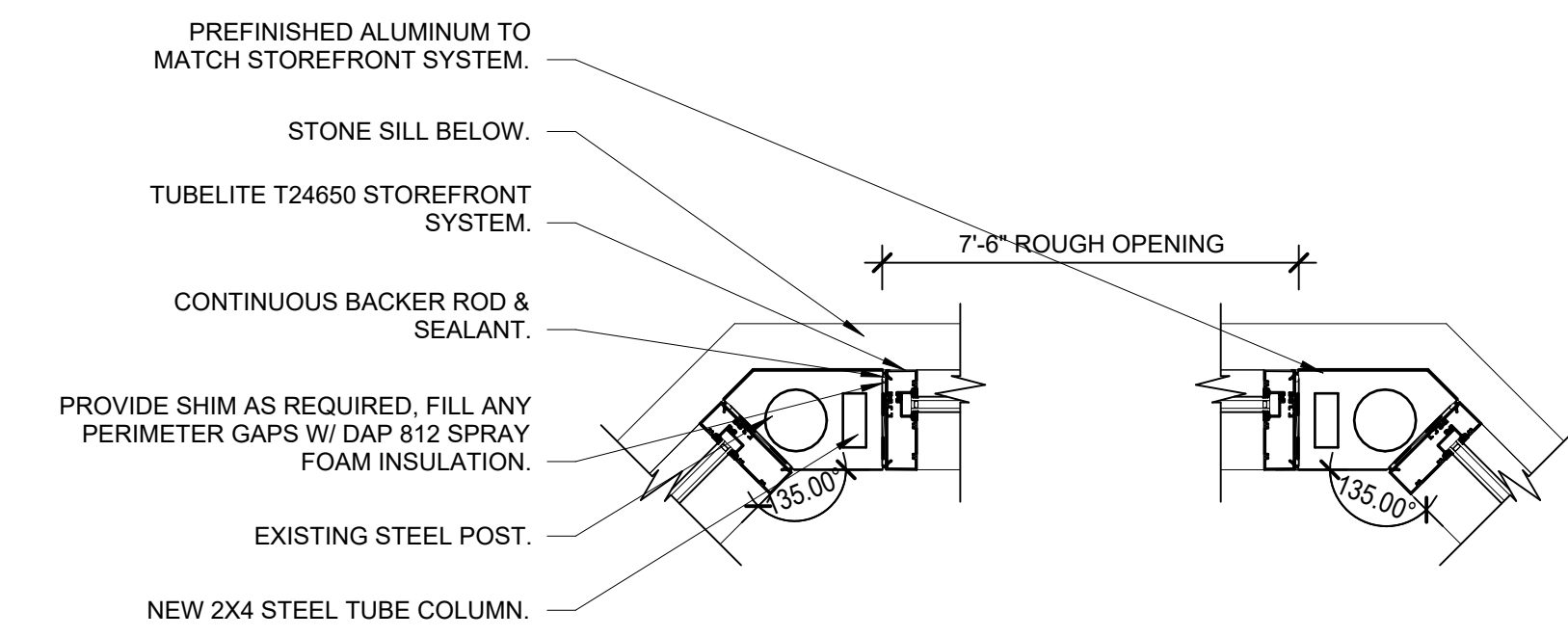


1 EXISTING WEST ELEVATION
A2.01 SCALE: 1/8" = 1'-0"

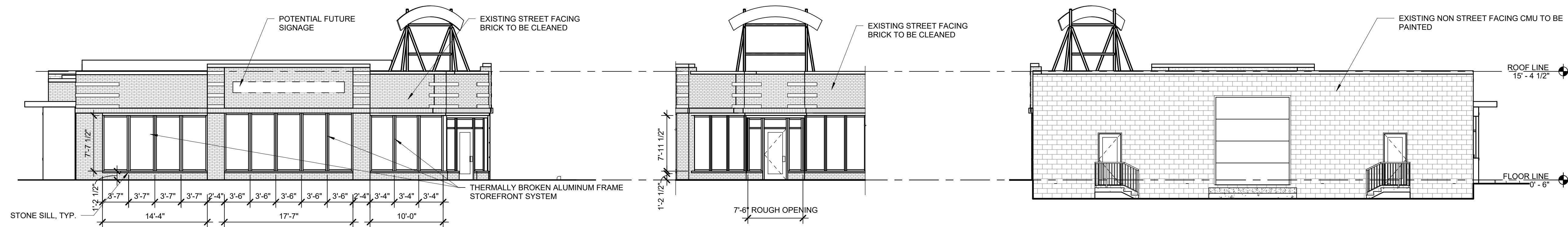




7 DRIVE THROUGH WINDOW ELEVATION
A2.02 SCALE: 1/4" = 1'-0"



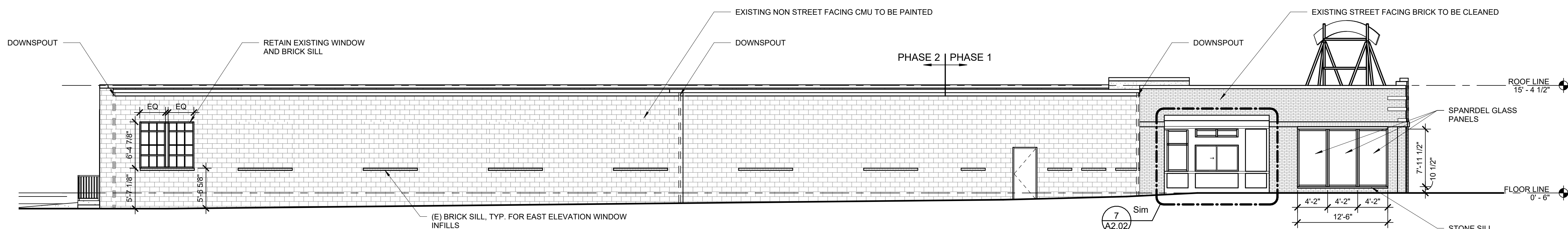
6 PLAN DETAIL AT CORNER
A2.02 SCALE: 1" = 1'-0"



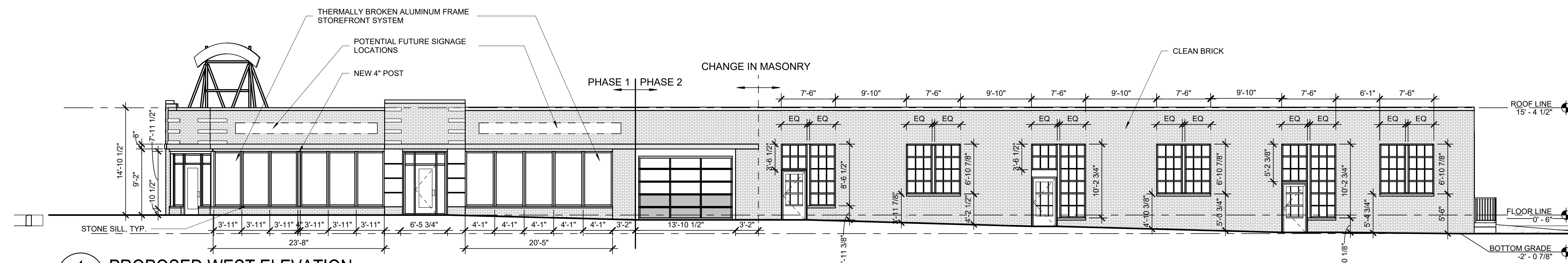
5 PROPOSED NORTH ELEVATION
A2.02 SCALE: 1/8" = 1'-0"

4 PROPOSED NORTHWEST ELEVATION
A2.02 SCALE: 1/8" = 1'-0"

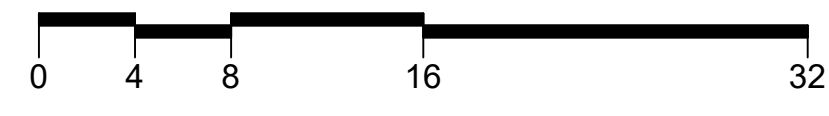
3 PROPOSED SOUTH ELEVATION
A2.02 SCALE: 1/8" = 1'-0"



2 PROPOSED EAST ELEVATION
A2.02 SCALE: 1/8" = 1'-0"



1 PROPOSED WEST ELEVATION
A2.02 SCALE: 1/8" = 1'-0"



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- GENERAL NOTES - ELEVATIONS**
- DIMENSIONS ARE TO R.O., TYPICAL, U.N.O.
 - REFER TO DOOR SCHEDULE.
 - REFER TO FLOOR PLANS FOR DOOR SWING DIRECTION.
 - PROVIDE HIGH PERFORMANCE PAINT FOR ALL EXTERIOR WORK.

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STARBUCKS CAFE

2061 GEHRING AVE
CLEVELAND, OH 44113
LDA Project No.2304

PROPOSED EXTERIOR ELEVATIONS
A2.02

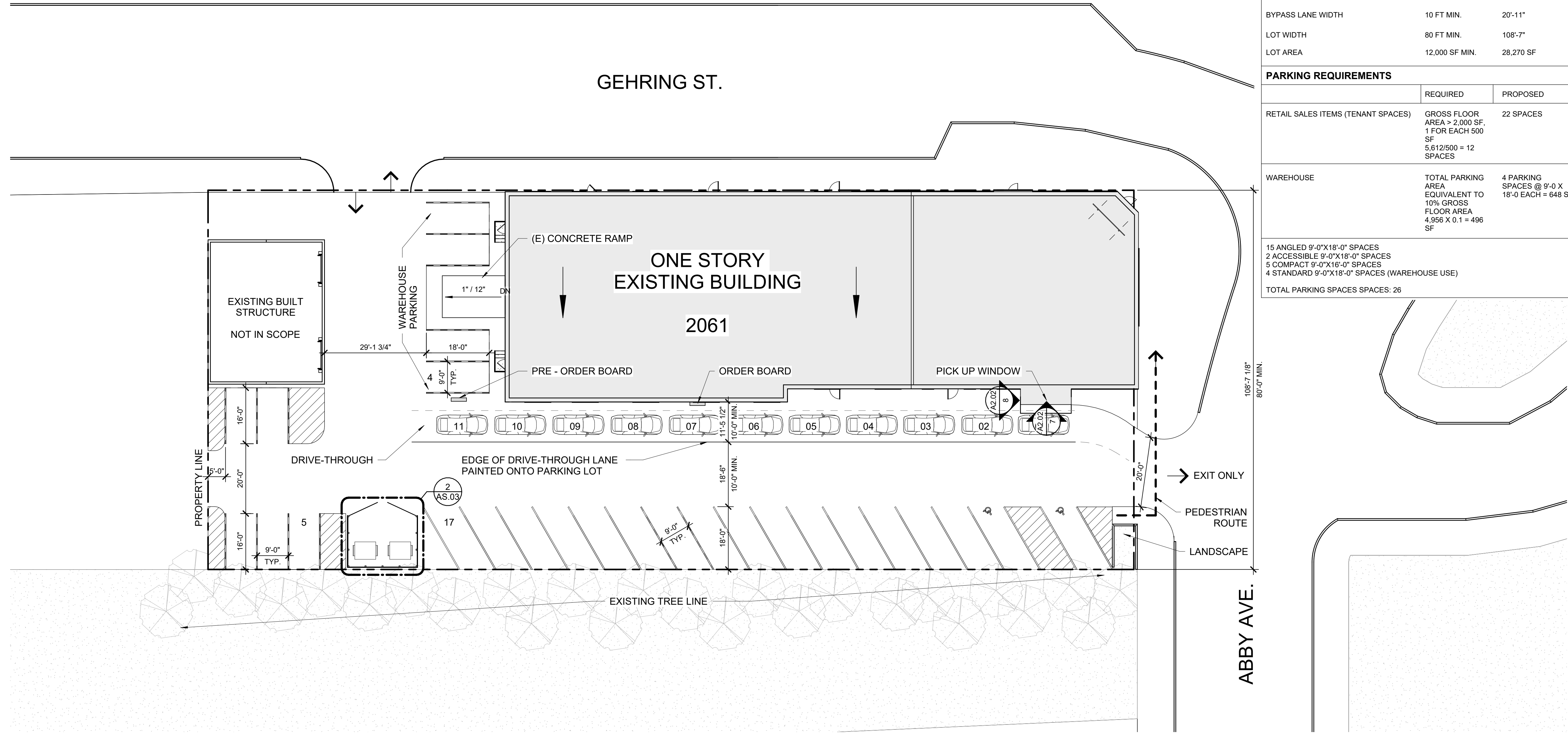
ZONING SCORECARD		
CITY OF CLEVELAND, OHIO CODE OF ORDINANCES PART III-B: LAND USE CODE TITLE VII: ZONING CODE		
PARCEL NUMBERS:	00711026	
ZONING CODE:	SI-C3	
USE DISTRICT:	SEMI-INDUSTRY	
AREA DISTRICT:	C	
HEIGHT DISTRICT:	3	
PROPERTY OWNER:	GEHRING PROPERTY COMPANY LLC	
ADDRESS:	2061 GEHRING AVE CLEVELAND, OH, 44113	
PROJECT INFORMATION		
TOTAL BUILDING AREA:	10,570 SF	
CONSTRUCTION TYPE:	III-B	
LOT SIZE:	28,270 SF (0.65 AC)	
ZONING STANDARDS AND RESTRICTIONS		
	REQUIRED	PROPOSED
MAX GROSS FLOOR AREA = 1/2 LOT AREA 28,270/2 = 14,135 SF	14,135 SF MAX	10,570 SF
HEIGHT LIMIT: 3 HL = 3D, BUT NOT TO EXCEED 115 FT D = DIST. TO CL OF STREET = 32'	96 FT	+/- 16 FT (EXISTING)
DRIVE THROUGH REQUIREMENTS		
	REQUIRED	PROPOSED
DRIVE-THROUGH LANE WIDTH	10 FT MIN.	11'-5 1/2"
BYPASS LANE WIDTH	10 FT MIN.	20'-11"
LOT WIDTH	80 FT MIN.	108'-7"
LOT AREA	12,000 SF MIN.	28,270 SF
PARKING REQUIREMENTS		
	REQUIRED	PROPOSED
RETAIL SALES ITEMS (TENANT SPACES)	GROSS FLOOR AREA > 2,000 SF, 1 FOR EACH 500 SF 5,612/500 = 12 SPACES	22 SPACES
WAREHOUSE	TOTAL PARKING AREA EQUIVALENT TO 10% GROSS FLOOR AREA 4,956 X 0.1 = 496 SF	4 PARKING SPACES @ 9'-0 X 18'-0 EACH = 648 SF
15 ANGLED 9'-0"x18'-0" SPACES 2 ACCESSIBLE 9'-0"x18'-0" SPACES 5 COMPACT 9'-0"x16'-0" SPACES 4 STANDARD 9'-0"x18'-0" SPACES (WAREHOUSE USE)		
TOTAL PARKING SPACES SPACES: 26		



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- GENERAL NOTES - SITE PLAN**
1. THIS PLAN IS A REPRESENTATION OF DESIGN INTENT ONLY AND AS SUCH DENOTES VERTICAL AND HORIZONTAL RELATIONSHIPS, MATERIALS AND FINISHES.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL EXISTING UTILITIES AND SHALL REPORT ALL POTENTIAL CONFLICTS WITH THE PROPOSED UTILITIES, UTILITY RIGHT OF WAYS, ETC. TO THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
 3. ALL ITEMS LABELED AS "EXISTING" ARE TO BE PROTECTED DURING CONSTRUCTION AND REMAIN UNLESS INDICATED OTHERWISE.
 4. CONTRACTOR TO CLEAN ALL EXCESS MATERIALS AND PROPERLY DISPOSE OF ALL WASTE MATERIALS.
 5. ALL EXISTING CONDITIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO DEMOLITION.
 6. ANY DISCREPANCY BETWEEN THE DRAWINGS AND THE ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION BARRICADES, WARNING TAPE, ETC. AS REQUIRED BY THE OWNER TO MAINTAIN THE SAFETY AND SECURITY OF THE PUBLIC, LOCAL AUTHORITIES, AND CODES, INCLUDING OSHA.
 8. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ANY TEMPORARY ENCLOSURES, DUST PARTITIONS, OR OTHER TEMPORARY CONSTRUCTION REQUIRED TO PROTECT OTHER AREAS OF THE BUILDING AND ITS OCCUPANTS DURING CONSTRUCTION.



2 PROPOSED SITE PLAN
AS.01 SCALE: 1/16" = 1'-0"



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LDA Project No.2304

PROPOSED SITE PLAN
AS.01

Case 23-113

Case 23-112

Certificate Of Appropriateness

Brooklyn Centre Historic District

Row On Garden 2902 Garden Avenue

Demolition and New Construction

**Project Representatives: Jill Brandt, Brandt Architecture; Kosta Almiroudis,
Developer**

Ward 7: Councilmember Santana

Tabled March 14th, 2024

CITY of **CLEVELAND**

MAYOR JUSTIN M. BIBB

CLEVELAND LANDMARKS COMMISSION



ROW ON GARDEN

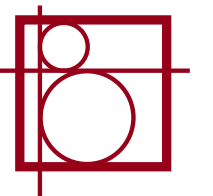
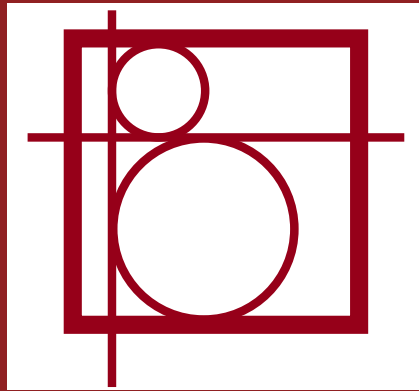
LOCATION: 2902 GARDEN AVE

NEIGHBORHOOD: OLD BROOKLYN

SCALE: MULTIFAMILY
18 - 1BR & 1BA UNITS

ZONING: RESIDENTIAL TWO FAMILY

NUMBER OF LOTS: FOUR





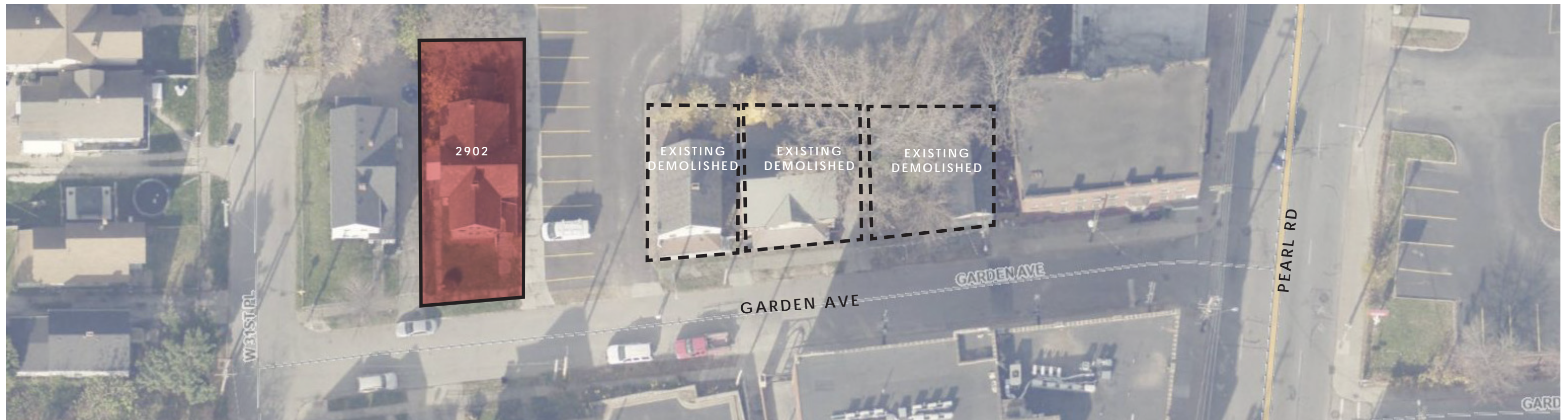
2902 GARDEN AVE



VIEW FROM GARDEN LOOKING WEST

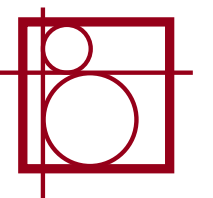


VIEW FROM GARDEN AVE LOOKING EAST



ROW ON GARDEN

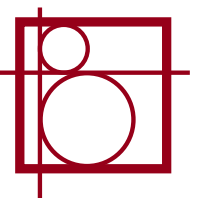
2902 GARDEN AVE,
CLEVELAND, OHIO





ROW ON GARDEN

2902 GARDEN AVE,
CLEVELAND, OHIO



PROPOSED SITE



PARKING REQUIREMENTS

LOFTS ON PEARL (PHASE 1): 39 SPACES

FLATS ON PEARL (PHASE II)

RESIDENTIAL:

- 1BR UNITS: 11 @ 1 SP/UNIT = 11 SPACES
- 2 BR UNITS: 22 @ 1.5 SP/UNIT = 33 SPACES
- 3 BR UNITS: 1 @ 2 SP/UNIT = 2 SPACES

RETAIL:

- 4.5 SP/1K
- 4,950 SQFT = 22 SPACES

OFFICE:

- 4 SP/1K
- 4,950 SQFT = 17 SPACES

ROW ON GARDEN TOWNHOMES

18 UNITS: @ 1SP/UNIT = 18 SPACES

TOTAL PARKING REQUIRED: 142 SPACES

TOD PARKING REDUCTION (50%)= 71 SPACES

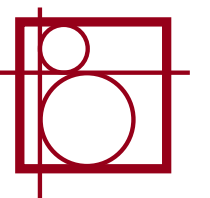
TOTAL PROVIDED: 70 SPACES



FLATS ON PEARL



ROW ON GARDEN





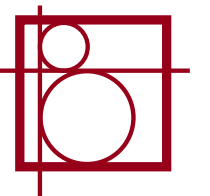
1 FRONT ELEVATION
SCALE: NTS



1 REAR ELEVATION
SCALE: NTS

ROW ON GARDEN

2902 GARDEN AVE,
CLEVELAND, OHIO

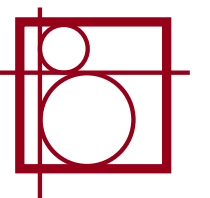




1 REAR ELEVATION
SCALE: 1/8" = 1'-0"



1 FRONT ELEVATION
SCALE: 1/8" = 1'-0"





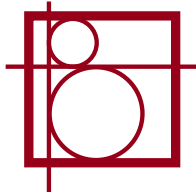
1 WEST ELEVATION
SCALE: 1/8" = 1'-0"



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"

ROW ON GARDEN

2902 GARDEN AVE,
CLEVELAND, OHIO



MATERIAL PALETTE

METAL PANEL

TEMPLE ARCHITECTURE PRODUCTS

1: DARK BRONZE

BRICK

BOWERSTON

2: TALLMADGE

SIDING

HARDIE PLANK FIBER CEMENT

3: ROYCROFT PEWTER

SW 2848

WINDOWS

PELLA FIBERGLASS

4: BRONZE

CANOPY

5: STAINLESS STEEL

COLOR:BRONZE



①



②



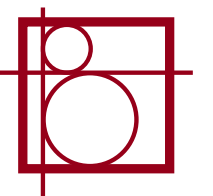
③



④



⑤





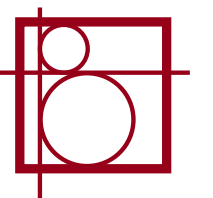
PROPOSED

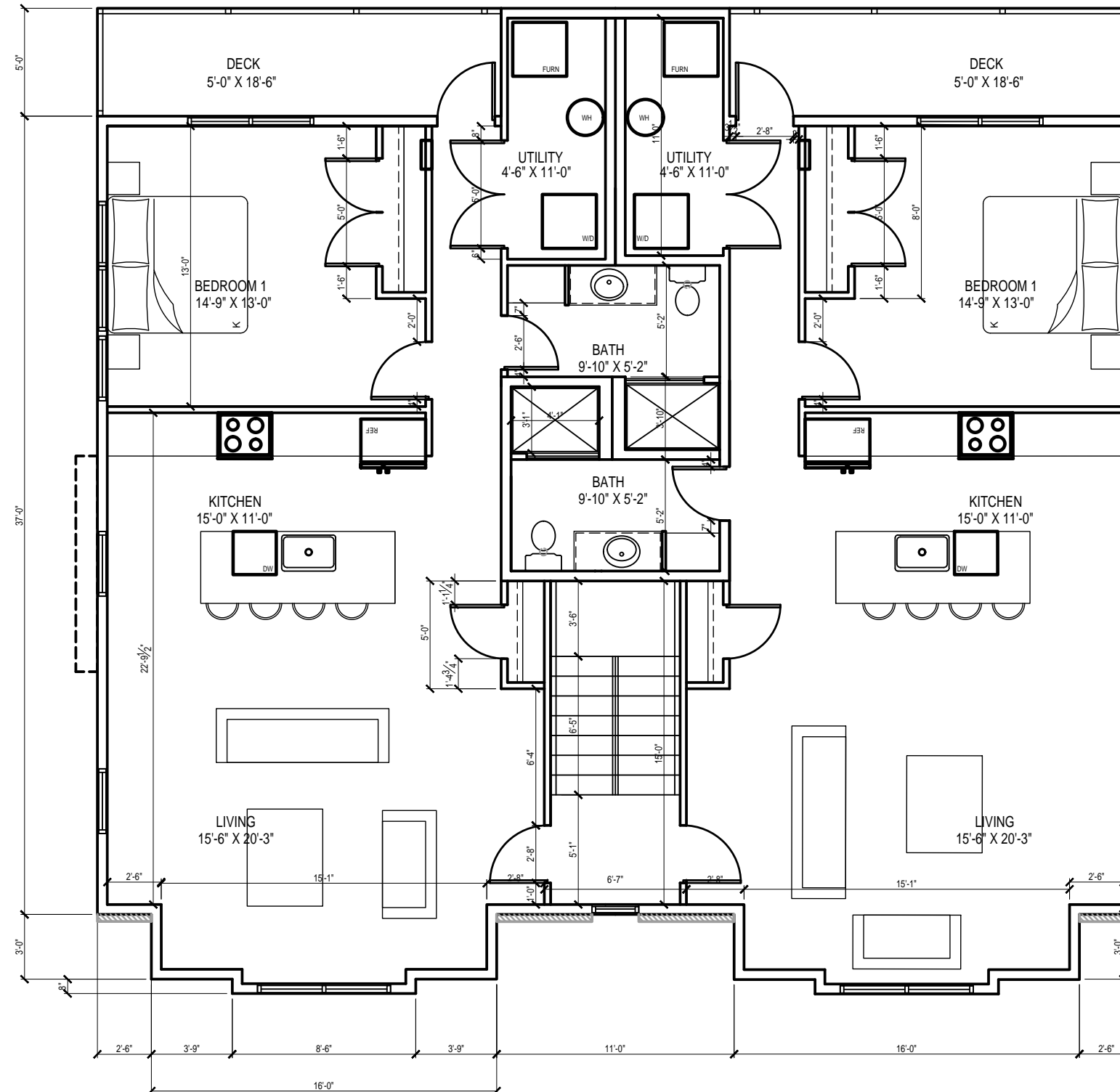


ALTERNATIVE

ROW ON GARDEN

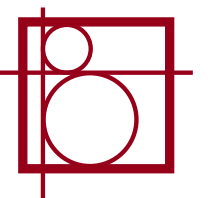
2902 GARDEN AVE.,
CLEVELAND, OHIO





ROW ON GARDEN

2902 GARDEN AVE,
CLEVELAND, OHIO





1 REAR ELEVATION
SCALE: 1/8" = 1'-0"



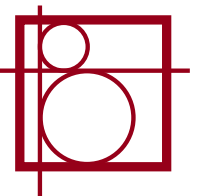
1 FRONT ELEVATION
SCALE: 1/8" = 1'-0"



WALL SCONCE
WAC LIGHTING CYLINDER



UP/DOWN BUILDING LIGHT
NUVO LIGHTING: 900 LUMEN LED OUTDOOR LIGHT SCONCE

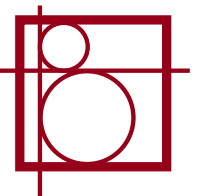




LIGHT POLE
 15' ROUND STRAIGHT POLE DOUBLE FIXTURE



PEDESTRIAN LIGHT POLE
 62" OUTDOOR SINGLE HEAD POST LIGHT

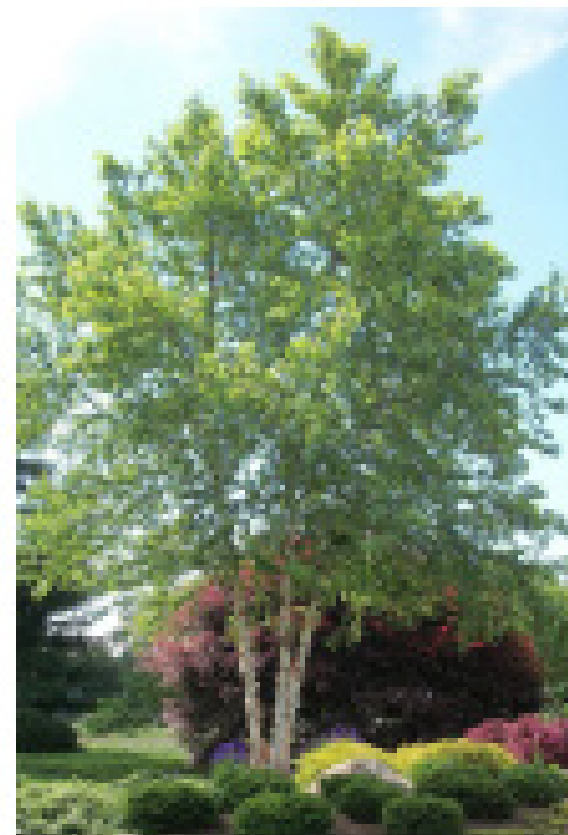




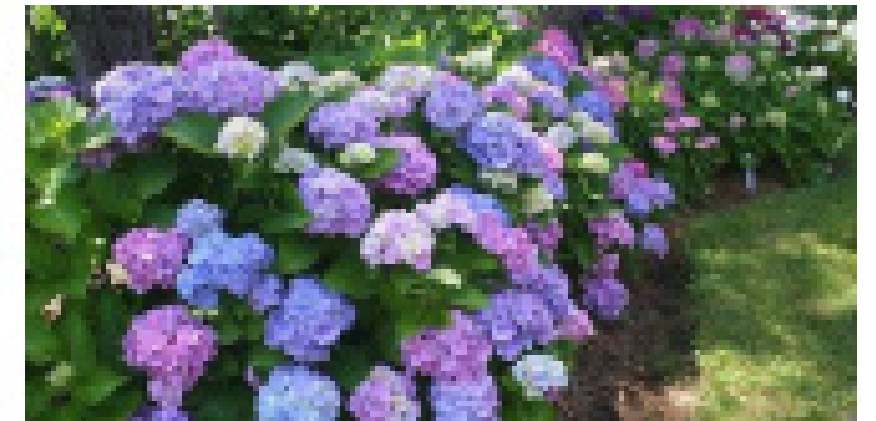
Calamagrostis x acutiflora 'Karl Foerster'
 Feather Reed Grass
 Ornamental grass
 Height: 3-5' | Spread: 1.5-2'



Tilia americana 'American Sentry'
 American Sentry Linden
 Deciduous tree
 Height: 50-80' | Spread: 30-50'



Betula nigra 'Heritage'
 River Birch
 Shade tree
 Height: 40-50' | Spread: 30-35'



Hydrangea macrophylla 'Endless Summer'
 Endless Summer Hydrangea
 Flowering shrub
 Height: 3-5' | Spread: 3-5'



Echinacea purpurea
 Purple Coneflower
 Herbaceous perennial
 Height: 2-5' | Spread: 1.5-2'

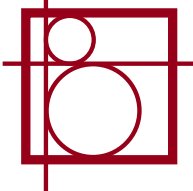


Taxus x hicksii
 Hicks Yew
 Evergreen shrub
 Height: 10-15' | Spread: 3-4'



ROW ON GARDEN

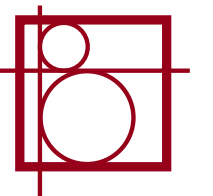
2902 GARDEN AVE.,
CLEVELAND, OHIO





ROW ON GARDEN

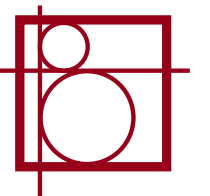
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ROW ON GARDEN

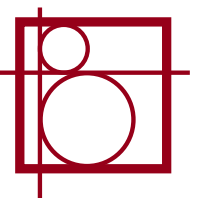
2902 GARDEN AVE.,
CLEVELAND, OHIO





ROW ON GARDEN

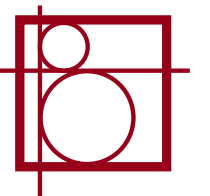
2902 GARDEN AVE,
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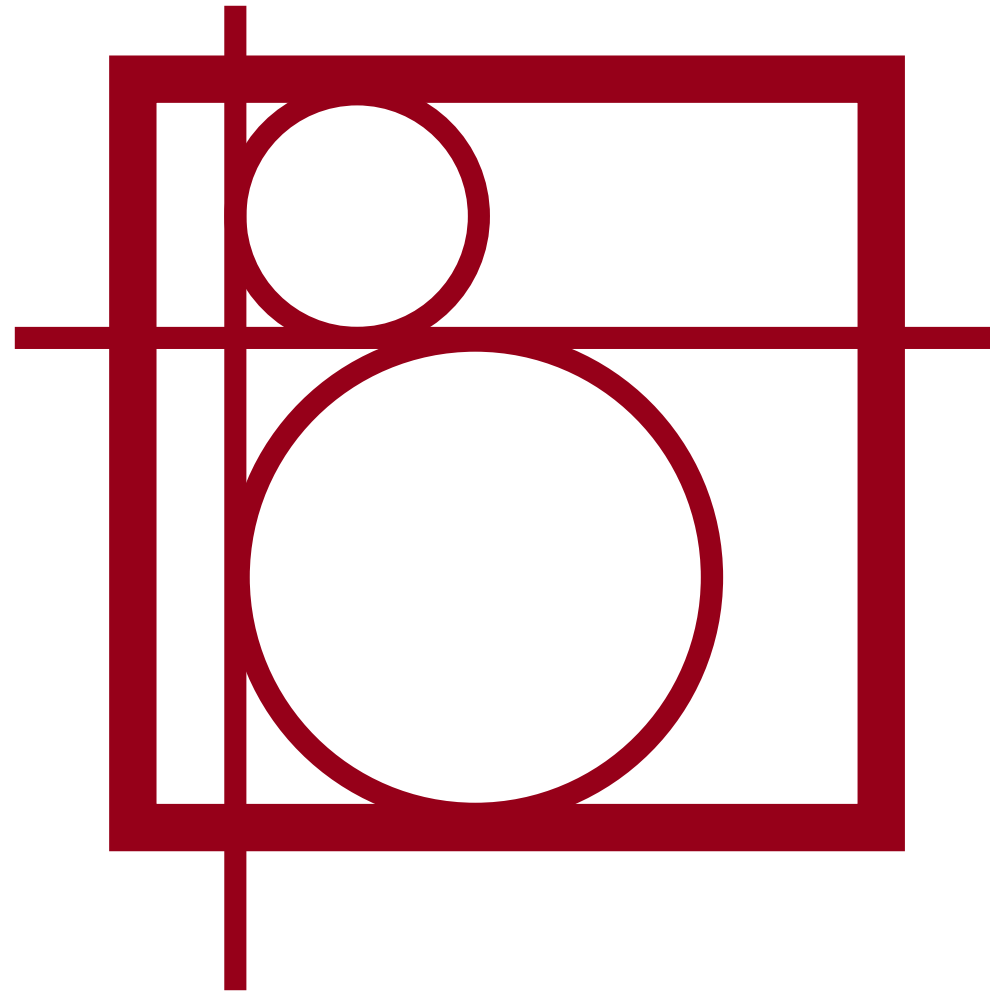




ROW ON GARDEN

2902 GARDEN AVE,
CLEVELAND, OHIO





2220 WOOSTER RD.

ROCKY RIVER, OHIO 44116

440-865-1824

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CITY OF CLEVELAND
Mayor Justin M. Bibb

Schematic Plan Review

April 10th, 2025



Case 25-024

Schematic Plan Review

Holy Resurrection Church

Joan Yellen Horvitz Performance Gallery Cleveland Public Theatre 6201 Detroit Avenue

Addition

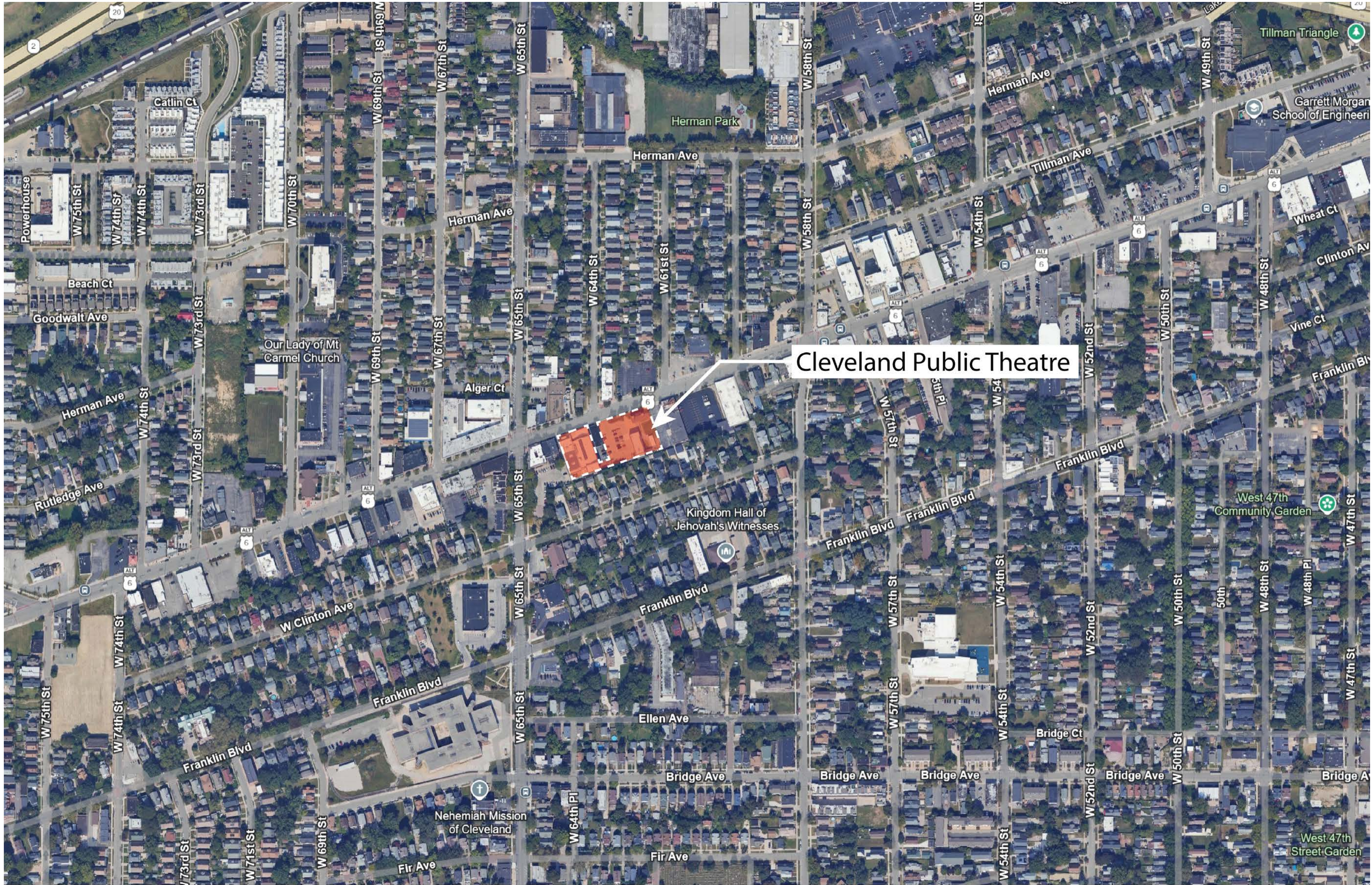
Project Representatives: Peter Bohan, Perspectus; Carter Edman, Marous Brothers Construction; John Williams, Process Creative Studios, Inc.; Raymond Bobgan, Cleveland Public Theatre
Ward 15: Councilmember Spencer

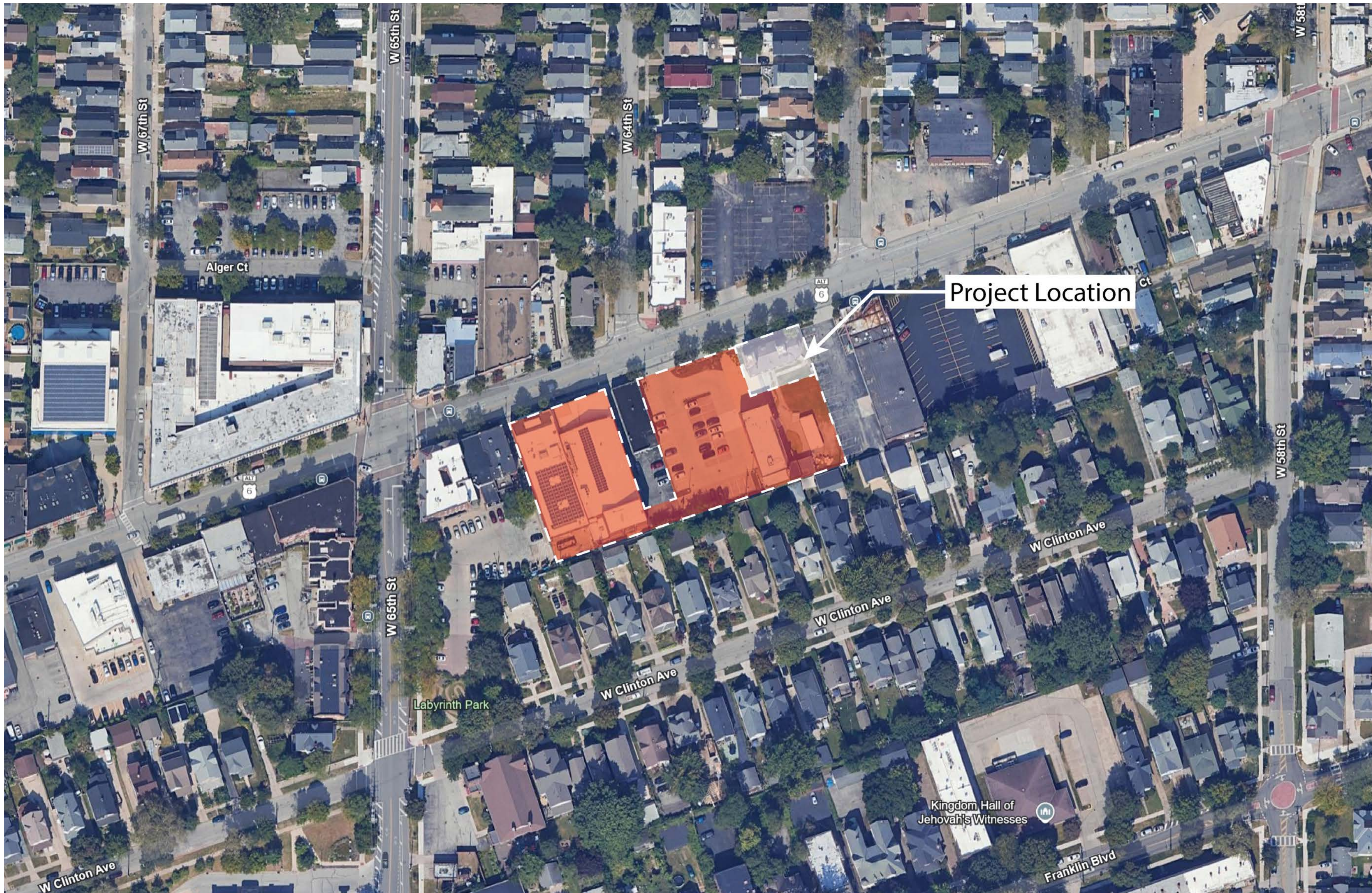


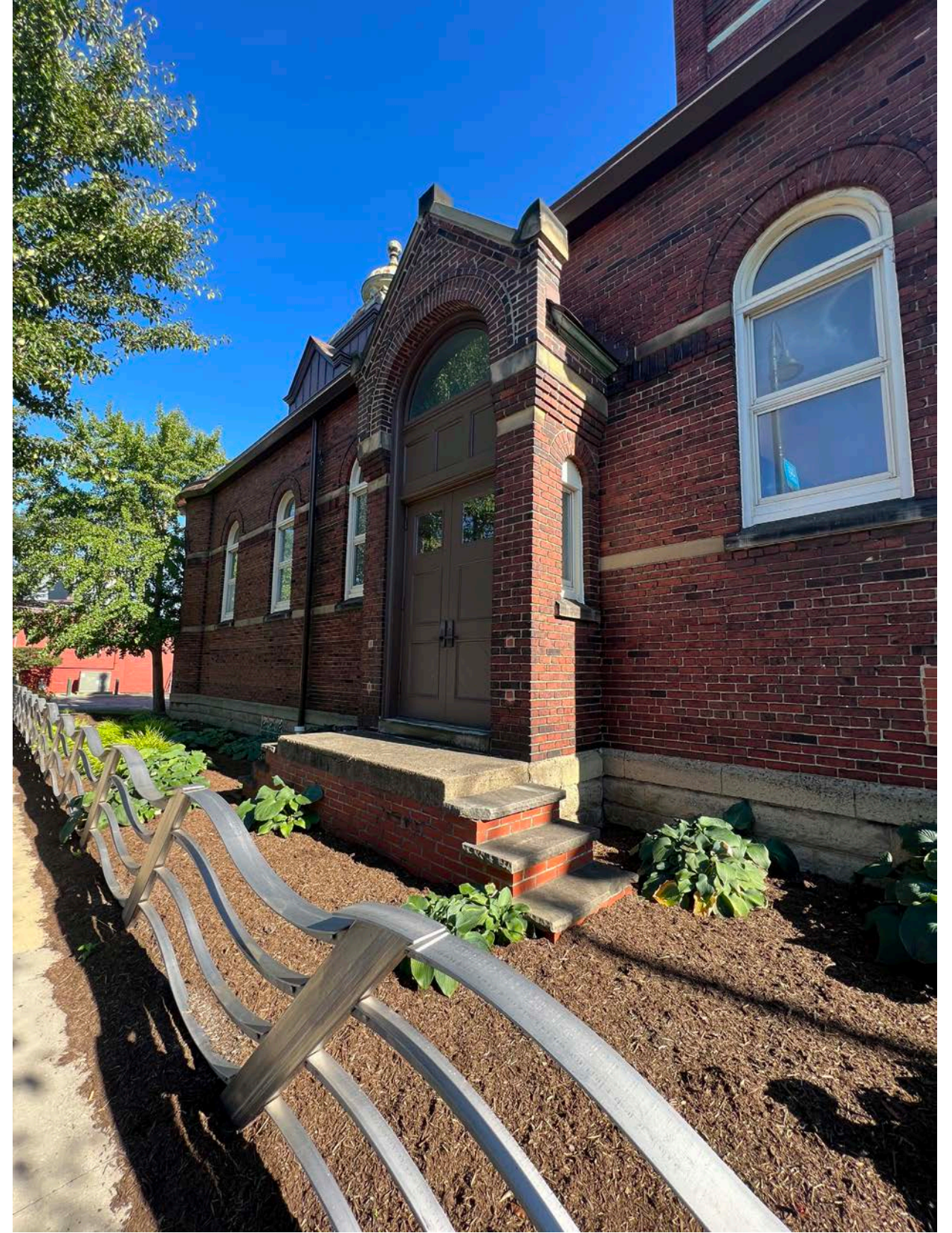


CLEVELAND PUBLIC THEATRE JOAN YELLEN HORVITZ PERFORMANCE GALLERY

SITE LOCATION MAP	1
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CITY OF CLEVELAND
Mayor Justin M. Bibb

Section 106 Notice

April 10th, 2025



Programmatic Agreement between the City of Cleveland and Ohio Historic Preservation Office

Public Notification & Invitation to Comment

Overview of Programmatic Agreement

- The City of Cleveland is preparing to enter into a new Programmatic Agreement with the Ohio Historic Preservation Office (SHPO) to facilitate compliance with Section 106 of the National Historic Preservation Act (36 CFR Part 800).
 - Section 106 requires federal agencies to consider the effects on historic properties of projects they carry out, assist, fund, permit, license, or approve throughout the country. If a federal or federally-assisted project has the potential to affect historic properties, a Section 106 review will take place.*
- The City's Programmatic Agreement with the SHPO covers City programs that use funds originating from the U.S. Department of Housing and Urban Development (HUD) per 24 CFR Part 58.
 - This includes Community Development Block Grants (CDBG), Social Services Operating Support Grant, Citywide Development Assistance Grant, CDC Activity Grant, Neighborhood Development Activity Grants, Emergency Solutions Grants (ESG), and Housing Opportunities for Persons with AIDS (HOPWA).
 - Additionally, the City completes Section 106 reviews on behalf of the Cuyahoga Metropolitan Housing Authority (CMHA).
- The Programmatic Agreement allows designated City staff members to make determinations on projects requiring Section 106 reviews without the need to have the SHPO review each project, expediting and streamlining the process for project applicants.

*Advisory Council on Historic Preservation. "An Introduction to Section 106." <https://www.achp.gov/protecting-historic-properties/section-106-process/introduction-section-106>.



Public Comment Process

- Per 36 CFR § 800.6(a)(4) and § 800.14(b)(3), public notification and invitation to comment is required when an agency enters into a new Programmatic Agreement.
 - The City is seeking consultation from the Advisory Council on Historic Preservation (ACHP) and Tribal Historic Preservation Offices (THPOs). The Cleveland Landmarks Commission and Cleveland Restoration Society have confirmed that they will be consulting parties to the new Programmatic Agreement.
- On March 24, 2025, the public was notified that a new Programmatic Agreement is in progress via the Cleveland Landmarks Commission's website. Notice of this presentation and a copy of the Programmatic Agreement was posted in association with this meeting (<https://planning.clevelandohio.gov/landmark/AGENDA.php>).
 - The public can submit requests to receive hard copies of the draft Programmatic Agreement and/or provide comments regarding the Programmatic Agreement to Rachel Pearce, Historic Preservation Specialist. Comments must be received by **April 10, 2025, at 5:00pm**. Requests and comments can be submitted via email, phone, or U.S mail.
 - Email: rpearce@clevelandohio.gov
 - Phone: 216-664-2919
 - U.S. mail: City of Cleveland, 601 Lakeside Avenue, Room 519, Cleveland, Ohio 44114
- The public is invited to provide comment during the April 10, 2025, Cleveland Landmarks Commission meeting as part of a designated open comment period.

